

2018 APPENDIX B BUILDING CODE SUMMARY

Name of Project: CITY OF ROCKY MOUNT TRAIN STATION

Address: 101 COASTLINE STREET, ROCKY MOUNT, NORTH CAROLINA

Zip Code 27804

Owner/Authorized Agent: MICHAEL BAUGHN

E-Mail MICHAEL.BAUGHN@ROCKYMOUNTNC.GOV

Phone # 252-972-1202

F-Mail

Owned By: ☒ City/County ☐ Private ☐ State

Code Enforcement Jurisdiction: ☒ City ROCKY MOUNT ☐ County

CONTACT: TIMOTHY D. OAKLEY, ARCHITECT

DESIGNER	FIRM	NAME	LICENSE#	TELEPHONE#	E-MAIL
Architectural	OAKLEY COLLIER ARCHITECTS	TIM OAKLEY	5967	252-937-2500	TOAKLEY@OAKLEYCOLLIER.COM
Civil					
Electrical	ATLANTEC ENGINEERING	DAVID WHITNEY	17382	919-571-1111	DAVID@ATLANTECENGINEERS.COM
Fire Alarm					
Plumbing	ATLANTEC ENGINEERING	BRADLEY FELTS	25036	919-571-1111	BRAD@ATLANTECENGINEERS.COM
Mechanical	ATLANTEC ENGINEERING	BRADLEY FELTS	25036	919-571-1111	BRAD@ATLANTECENGINEERS.COM
Sprinkler-Standpipe					
Structural					
Retaining Walls >5' High					
Other					

(*Other* should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE:

☐ New Building ☐ Addition ☒ Renovation

☐ 1st Time Interior Completion

☐ Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

☐ Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE:

Existing ☐ Prescriptive ☒ Repair ☐ Chapter 14

Alteration ☐ Level I ☐ Level II ☐ Level III

☐ Historic Property ☐ Change of Use

CONSTRUCTED: (date) 1893

CURRENT OCCUPANCY(S) (Ch.3): ASSEMBLY / BUSINESS

RENOVATED: (date) 1997

PROPOSED OCCUPANCY(S) (Ch.3): ASSEMBLY / BUSINESS

Risk Category (Table 1604.5):

Current: ☐ I ☒ II ☐ III ☐ IV

Proposed: ☐ I ☒ II ☐ III ☐ IV

BASIC BUILDING DATA

Construction Type:

☐ I-A ☐ I-B ☐ II-A ☐ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☐ V-B

Sprinklers:

☐ No ☐ Partial ☒ Yes ☒ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D

Standpipes:

☒ No ☐ Yes ☐ Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry

Fire District:

☒ No ☐ Yes

Special Inspections Required:

☒ No ☐ Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

Flood Hazard Area:

☒ No ☐ Yes

GROSS BUILDING AREA TABLE			
FLOOR	EXISTING (SQ FT)	RENOVATION (SQ FT)	SUB-TOTAL
6th Floor	N/A	N/A	N/A
5th Floor	N/A	N/A	N/A
4th Floor	N/A	N/A	N/A
3rd Floor (LEVEL 2)	7,900	3,460	7,900
2nd Floor (REPAIR)	7,900	N/A	7,900
1st Floor (REPAIR)	10,810	N/A	10,810
Basement	700	N/A	N/A
TOTAL	27,310	3,460	27,310

ALLOWABLE AREA

Primary Occupancy Classification(s):

Assembly ☐ A-1 ☐ A-2 ☒ A-3 ☐ A-4 ☐ A-5

Business ☒

Educational ☐

Factory ☐ F-1 Moderate ☐ F-2 Low

Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM

Institutional ☐ I-1 Condition ☐ I ☐ I-2 Condition ☐ I ☐ I-3 Condition ☐ I ☐ I-4

Mercantile ☐

Residential ☐ R-1 ☐ R-2 ☐ R-3 ☐ R-4

Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled

Utility and Miscellaneous ☐

☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage

Accessory Occupancy Classification(s):

N/A

Incidental Uses (Table 509):

N/A

Special Uses (Chapter 4 - List Code Sections):

N/A

Special Provisions: (Chapter 5 - List Code Sections):

N/A

Mixed Occupancy:

☒ No ☐ Yes Separation: N/A Hr. Exception: N/A

☐ Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.

☐ Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

Actual Area of Occupancy A

Allowable Area of Occupancy A

Actual Area of Occupancy B

Allowable Area of Occupancy B

≤1

..... = ≤1.00

STORY NO.	DESCRIPTION AND USE	(A) BLDG AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,2}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
BASMENT		700	69,000	N/A	69,000
1		69,000	69,000	N/A	69,000
2		69,000	69,000	N/A	69,000
3	B	7,900	69,000	N/A	69,000

1. Frontage area increases from Section 506.3 are computed thus:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)
b. Total Building Perimeter = N/A (P).
c. Ratio (F/P) = N/A (F/P)
d. W = Minimum width of public way = N/A (W)
e. Percent of frontage increase If = 100[(F/P-0.25) x W/30] = N/A (%).

2. Unlimited area applicable under conditions of Section 507.

3. Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).

4. The maximum area of open parking garages must comply with Table 406.5.4 .

5. Frontage increase is based on the unsprinklered area value in Table 506.2.

ALLOWABLE HEIGHT			
	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1
Building Height in Feet (Table 503.2)	60	60	N/A
Building Height in Stories (Table 503.2)	6	6	N/A

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

2. The maximum height of air traffic towers must comply with Table 412.3.1.

3. The maximum height of open parking garages must comply with Table 406.5.4.

FIRE PROTECTION REQUIREMENTS						
BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	REQ'D	RATING PROVIDED (REDUCTION)	DETAIL# & SHEET#	DESIGN# FOR RATED ASSEMBLY	SHEET# FOR RATED PENETRATION
Structural Frame, including columns, girders, trusses	>30	0	0	N/A	N/A	N/A
Bearing Walls						
Exterior						
North	N/A	N/A	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A	N/A	N/A
West	N/A	N/A	N/A	N/A	N/A	N/A
South	N/A	N/A	N/A	N/A	N/A	N/A
Interior	N/A	N/A	N/A	N/A	N/A	N/A
Nonbearing Walls and Partitions						
Exterior walls						
North	>30	0	0	N/A	N/A	N/A
East	>30	0	0	N/A	N/A	N/A
West	>30	0	0	N/A	N/A	N/A
South	>30	0	0	N/A	N/A	N/A
Interior walls and partitions	N/A	0	0	N/A	N/A	N/A
Floor Construction Including supporting beams and joists						
	0	0	0	N/A	N/A	N/A
Floor Ceiling Assembly	0	0	0	N/A	N/A	N/A
Columns Supporting Floors	N/A	N/A	N/A	N/A	N/A	N/A
Roof Construction, including supporting beams and joists						
	0	0	0	N/A	N/A	N/A
Roof Ceiling Assembly	0	0	0	N/A	N/A	N/A
Columns Supporting Roof	0	0	0	N/A	N/A	N/A
Shaft Enclosures - Exit	N/A	N/A	N/A	N/A	N/A	N/A
Shaft Enclosures - Other	N/A	N/A	N/A	N/A	N/A	N/A
Corridor Separation	N/A	N/A	N/A	N/A	N/A	N/A
Occupancy/Fire Barrier Separation	N/A	N/A	N/A	N/A	N/A	N/A
Party/Fire Wall Separation	N/A	N/A	N/A	N/A	N/A	N/A
Smoke Barrier Separation	N/A	N/A	N/A	N/A	N/A	N/A
Smoke Partition	N/A	N/A	N/A	N/A	N/A	N/A
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	N/A	N/A	N/A	N/A	N/A
Incidental Use Separation	N/A	N/A	N/A	N/A	N/A	N/A

* Indicate section number permitting reduction

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION (TABLE 705.5)	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
30 OR GREATER	15 PERCENT	N/A	N/A
		-	-

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting:

☐ No ☒ Yes

Exit Signs:

☐ No ☒ Yes

Fire Alarm:

☐ No ☒ Yes

Smoke Detection Systems:

☐ No ☒ Yes ☒ Partial

Carbon Monoxide Detection:

☒ No ☐ Yes

LIFE SAFETY PLAN REQUIREMENTS

Life Safety Plan Sheet #: G1.1

☐ Fire and/or smoke rated wall locations (Chapter 7)

☐ Assumed and real property line locations (if not on the site plan)

☐ Exterior wall opening area with respect to distance to assumed property lines (705.8)

☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)

☒ Occupant loads for each area

☐ Exit access travel distances (1017)

☐ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))

☐ Dead end lengths (1020.4)

☐ Clear exit widths for each exit door

☐ Maximum number of persons permitted in each room or area, including the use of egress width (1045.3)

☐ Actual occupant load for each exit door

☐ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation

☐ Location of doors with panic hardware (1010.1.10)

☐ Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)

☐ Location of doors with electromagnetic egress locks (1010.1.9.9)

☐ Location of doors equipped with hold-open devices

☐ Location of emergency escape windows (1030)

☐ The square footage of each fire area (202)

☐ The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)

☐ Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS						
(SECTION 1107)						
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING						
(SECTION 1109)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	PROVIDED	# OF ACCESSIBLE SPACES PROVIDED REGULAR WITH ACCESSIBLE	REGULAR WITH ACCESSIBLE	VAN SPACES WITH ACCESSIBLE	TOTAL # ACCESSIBLE PROVIDED
TOTAL	-	-	-	-	-	-

PLUMBING FIXTURE REQUIREMENTS						
(TABLE 2902.1)						
USE	WATERCLOSETS	URINALS	LAVATORIES	SHOWERS	DRINKING FOUNTAINS	
SPACING	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX
NEEDED						
REQUIRED						

SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:

The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

Existing building envelope complies with code: ☐ No ☐ Yes (The remainder of this section is not applicable)

Exempt Building: ☐ No ☐ Yes (Provide code or statutory reference)

Climate Zone: ☐ 3A ☐ 4A ☐ 5A

Method of Compliance: Energy Code ☐ Performance ☐ Prescriptive

ASHRAE 90.1 ☐ Performance ☐ Prescriptive

(If "Other" specify here)

THERMAL ENVELOPE (Prescriptive method only)

Roof/Ceiling Assembly (each assembly)

Description of assembly: N/A

U-Value of total assembly: N/A

U-Value of insulation: N/A

Skylights in each assembly: N/A

U-Value of skylight: N/A

Total square footage of skylights in each assembly: N/A

Exterior Walls (each assembly)

Description of assembly: N/A

U-Value of total assembly: N/A

R-Value of insulation: N/A

Openings (windows or doors with glazing)

U-Value of assembly: N/A

Solar heat gain coefficient: N/A

Projection factor: N/A

Door R-Values: N/A

Walls below grade (each assembly)

Description of assembly: N/A

U-Value of total assembly: N/A

R-Value of total assembly: N/A

Floors over unconditioned space (each assembly)

Description of assembly: N/A

U-Value of total assembly: N/A

R-Value of total assembly: N/A

Floors slab on grade

Description of assembly: N/A

U-Value of total assembly: N/A

R-Value of insulation: N/A

Horizontal/vertical requirement: N/A

Slab heated: N/A

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors:

Snow (I_s) N/A

Seismic (I_p) N/A

Live Loads:

Roof N/A psf

Mezzanine N/A psf

Floor N/A psf

Ground Snow Load:

N/A psf

Wind Load:

Ultimate Wind Speed N/A mph (ASCE-7)

Exposure Category N/A

SEISMIC DESIGN CATEGORY: ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

Provided seismic analysis by the designer:

Risk Category (Table 1604.5) ☐ I ☐ II ☐ III ☐ IV

Spectral Response Acceleration S_s N/A %g S₁ N/A %g

Site Classification (ASCE 7) ☐ A ☐ B ☐ C ☐ D ☐ E ☐ F

Data Source: ☐ Field Test ☐ Presumptive ☐ Historical Data

Basic structural system

☐ Bearing Wall ☐ Dual w/Special Moment Frame

☐ Building Frame ☐ Dual w/Intermediate R/C or Special Steel

☐ Moment Frame ☐ Inverted Pendulum

☐ Simplified ☐ Equivalent Lateral Force ☐ Dynamic

Architectural, Mechanical, Components anchored?

☐ Yes ☐ No

LATERAL DESIGN CONTROL:

☐ Earthquake ☐ Wind

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) N/A psf

Presumptive Bearing capacity N/A psf

Pile size, type, and capacity N/A

MECHANICAL DESIGN

MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT

Thermal Zone

winter dry bulb: -

summer dry bulb: -

Interior design conditions

winter dry bulb: -

summer dry bulb: -

relative humidity: -

Building heating load: -

Building cooling load: -

Mechanical Spacing Conditioning System

Unitary

description of unit: -

heating efficiency: -

cooling efficiency: -

size category of unit: -

Boiler

Size category, if oversized, state reason: -

Chiller

Size category, if oversized, state reason: -

List equipment efficiencies: -

ELECTRICAL DESIGN

ELECTRICAL SYSTEM AND EQUIPMENT

Method of Compliance: Energy Code: ☐ Prescriptive ☐ Performance

ASHRAE 90.1: ☐ Prescriptive ☐ Performance

Lighting schedule (each fixture type)

lamp type required in fixture

number of lamps in fixture

ballast type used in the fixture

number of ballasts in fixture

total wattage per fixture

total interior wattage specified vs. allowed (whole building or space by space)

total exterior wattage specified vs. allowed

Additional Efficiency Package Options (When using the 2018 NCECC; not required for ASHRAE 90.1)

☐ C406.2 More Efficient HVAC Equipment Performance

☐ C406.3 Reduced Lighting Power Density

☐ C406.4 Enhanced Digital Lighting Controls

☐ C406.5 On-Site Renewable Energy

☐ C406.6 Dedicated Outdoor Air System

☐ C406.7 Reduced Energy Use in Service Water Heating

ALTERNATES

G-1 EXTERIOR DOOR REPAIR

THE CONTRACTOR SHALL STIPULATE A SUM TO BE ADDED TO THE BASE BID FOR THE REPAIR OF EXTERIOR DOORS AS NOTED IN THE CONSTRUCTION DRAWINGS.

G-2 REPAINT ALL EXTERIOR ROOF BRACKERS AND SOFFITS

THE CONTRACTOR SHALL STIPULATE A SUM TO BE ADDED TO THE BASE BID TO CLEAN, PREP, AND REPAINT THE EXISTING EXTERIOR ROOF BRACKETS AND SOFFITS AS NOTED IN THE CONSTRUCTION DRAWINGS.

G-3 REPAIR AND REPAINT INTERIOR WALL AND CEILINGS IN THE GROUND FLOOR AREA

THE CONTRACTOR SHALL STIPULATE A SUM TO BE ADDED TO THE BASE BID FOR THE REPAIR AND REPAINTING OF THE INTERIOR WALLS AND CEILINGS IN THE GROUND FLOOR WAITING AREA AS NOTED IN THE CONSTRUCTION DRAWINGS.

G-4 GROUND FLOOR TOILET REPAIRS

THE CONTRACTOR SHALL STIPULATE A SUM TO BE ADDED TO THE BASE BID FOR THE BASE BID FOR THE ADDITION OF THE SCOPE OF WORK DENOTED FOR THE GROUND FLOOR LOBBY TOILETS. THIS ALTERNATE SHALL INCLUDE THE REPAIR/REPAINT OF WALLS, REPAIR/REPLACE BROKEN WALL TILES, REMOVAL OF GRAFFITI, AND REFINISHING TOILET PARTITION DOORS AS NOTE IN THE CONSTRUCTION DRAWINGS.

THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT

101 COASTLINE STREET ROCKY MOUNT, NORTH CAROLINA 27804

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ELECTRICAL

E1.1. DEMOLITION LIGHTING AND ELECTRICAL PLANS

E1.2. LIGHTING AND ELECTRICAL PLANS

E1.3. DATA PLAN

E2.1. LEGEND, NOTES, RISER AND FIXTURE SCHEDULE

FIRE ALARM

FA1.1. FIRE ALARM PLAN

FA2.1. FIRE ALARM LEGEND, RISER, AND NOTES

CONSULTANTS

PLUMBING, MECHANICAL, & ELECTRICAL ENGINEER:

ATLANTEC ENGINEERS, PA

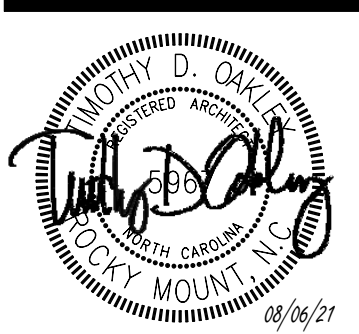
3221 BLUE RIDGE ROAD, SUITE 113

RALEIGH, NC 27612

PHONE: 919-571-1111



THIRD FLOOR RENOVATION FOR:
CITY OF ROCKY MOUNT
MOUNT TRAIN STATION
101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804



BID SET

GENERAL NOTE:
Prior to construction start. Contractor shall verify & be responsible for all Dimensions.

Revisions

Date

08/06/21

Project No.

21013

Drawn By

ABG

Sheet No.

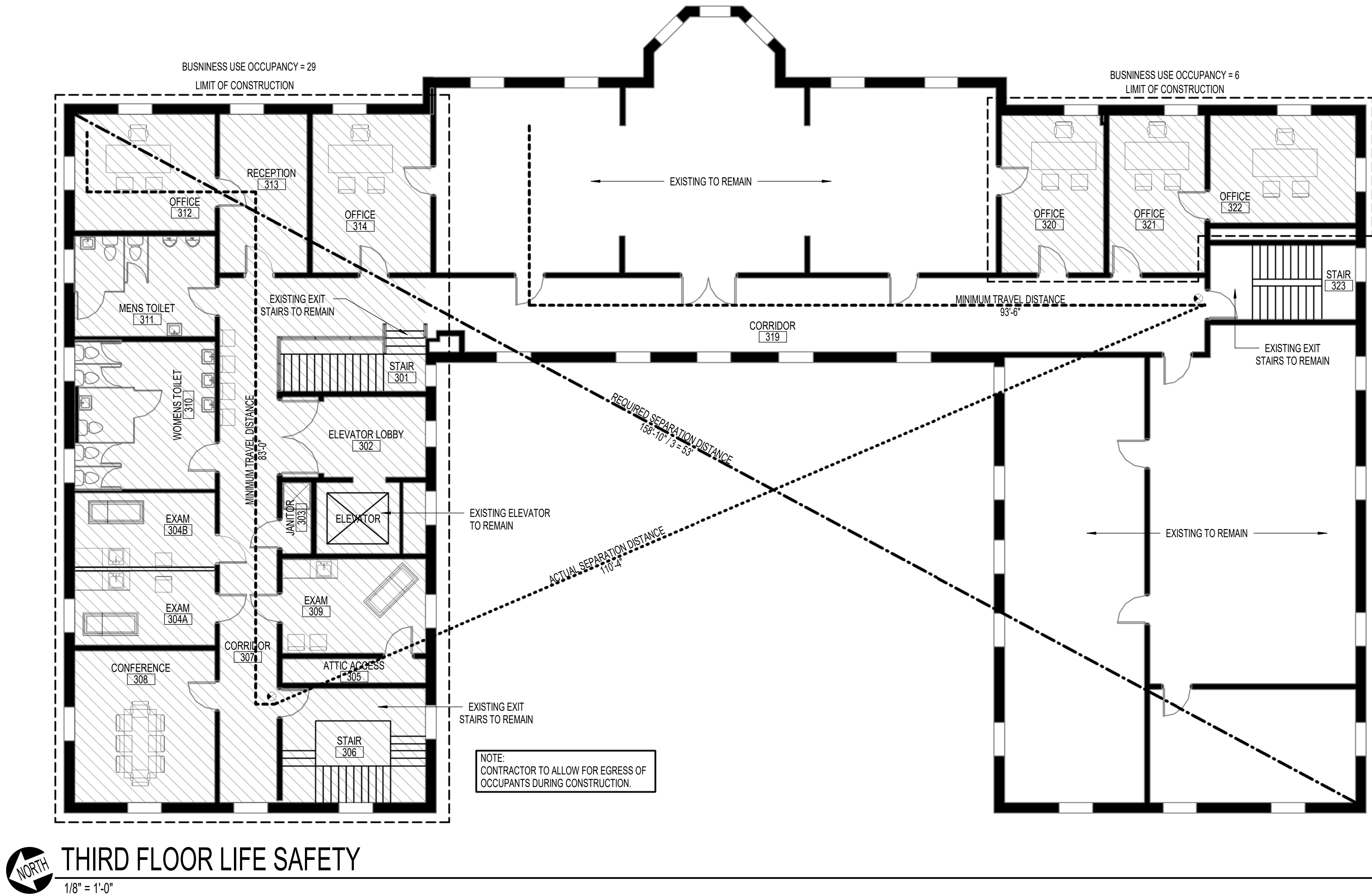
G0.1

Checked By

TDO

Sheet Title

COVERSHEET / CODE SUMMARY



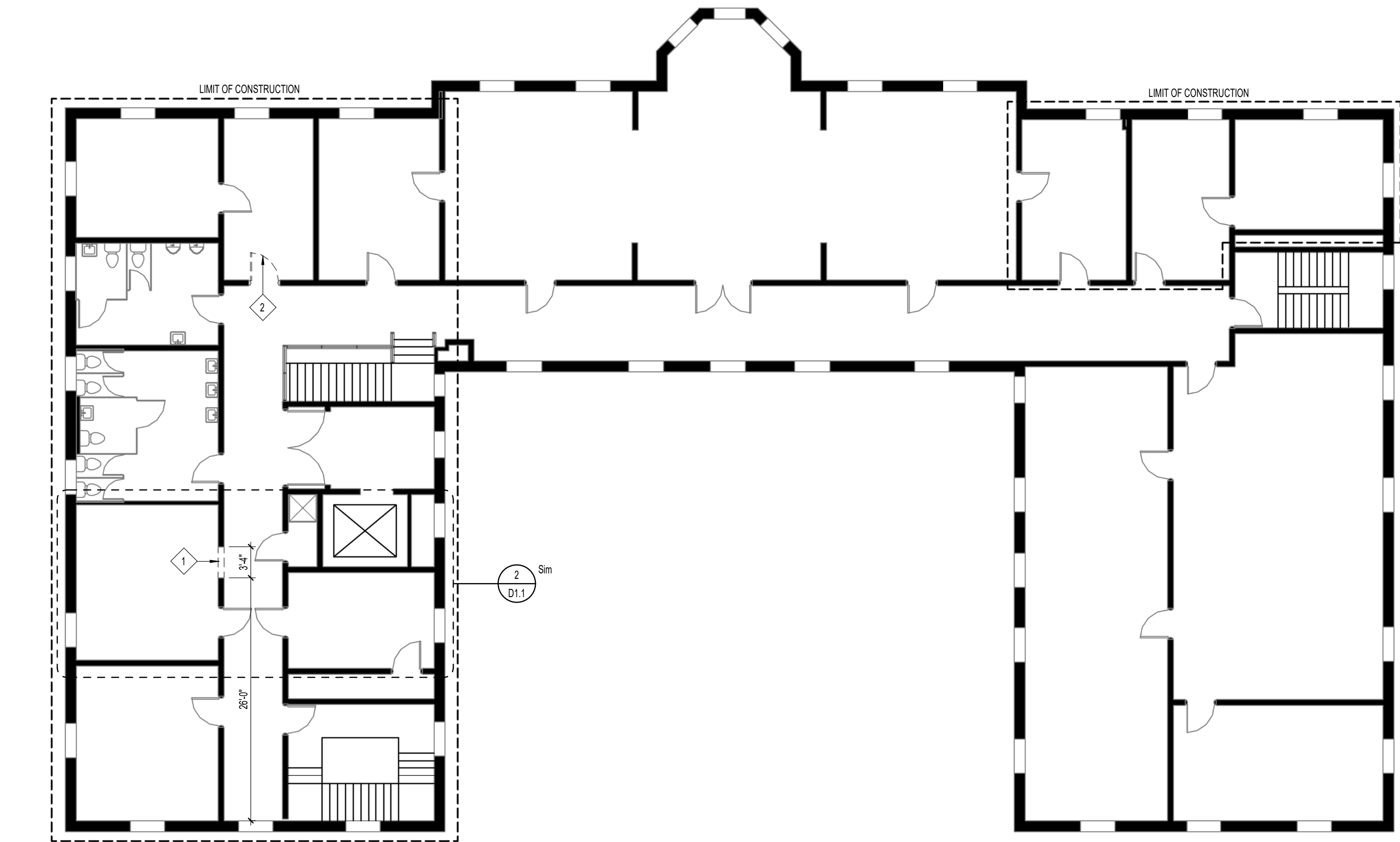
LIFE SAFETY LEGEND

	= BUSINESS OCCUPANCY
	= EXISTING EXIT SIGN
	EXIT SEPARATION DISTANCE - REQUIRED
	EXIT SEPARATION DISTANCE - PROVIDED
	MAXIMUM TRAVEL DISTANCE

NOTES:
1. SEE ELECTRICAL PLANS FOR COMPLETE DESCRIPTION OF DEVICES AND ADDITIONAL DETAILS INCLUDING MOUNTING AND PLACEMENT.



GENERAL NOTE: Prior to construction start. Contractor shall verify & be responsible for all Dimensions.	
Revisions	
Date 08/06/21	Project No. 21013
Drawn By ABG	Sheet No. G1.1
Checked By TDO	
Sheet Title LIFE SAFETY PLAN	



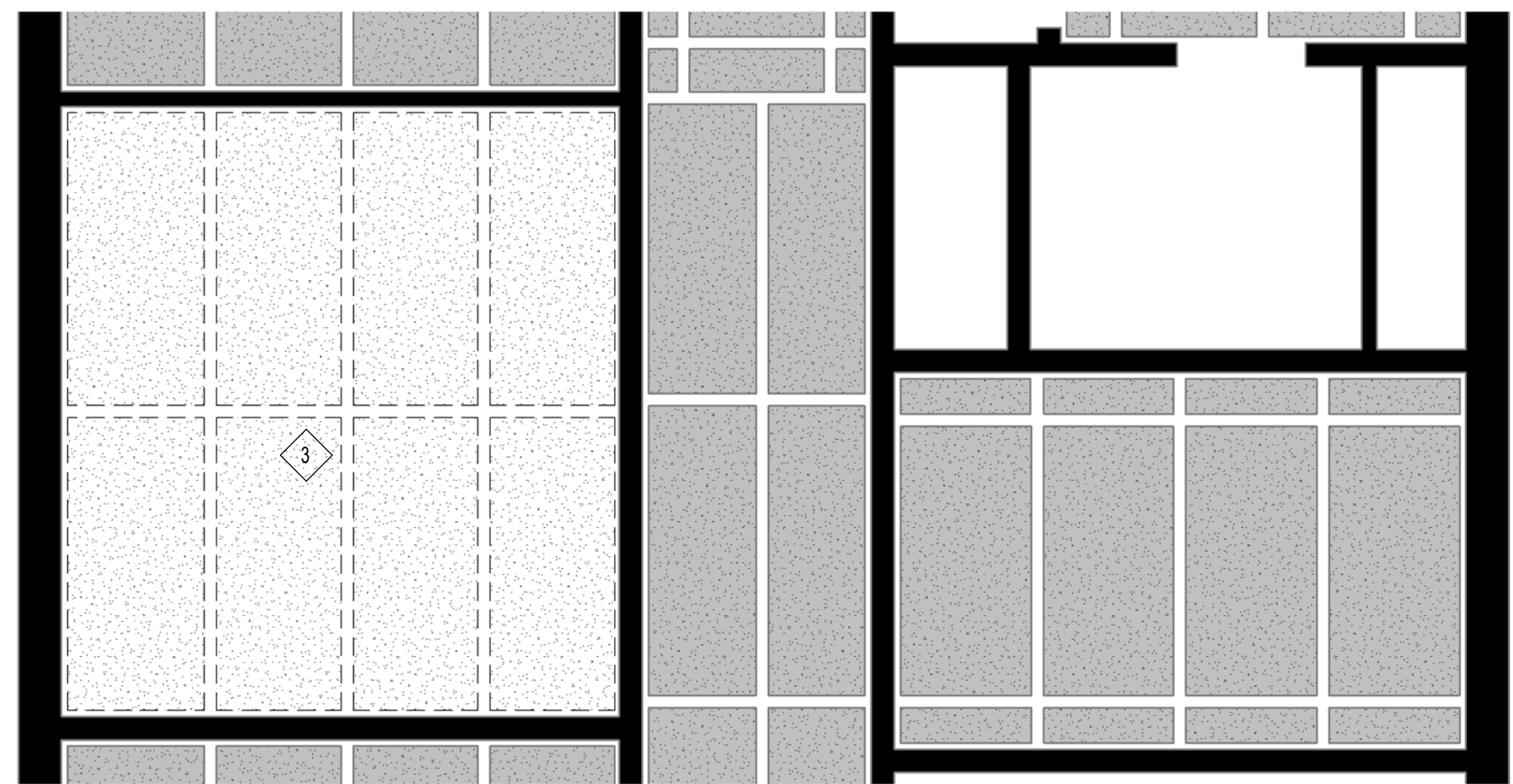
THIRD FLOOR DEMOLITION
1/8" = 1'-0"

DEMOLITION NOTES

- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO SUBMITTING A BID AND START OF ANY WORK. DISCREPANCIES IN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE SUBMITTING BID AND/OR CONTINUING WITH WORK.
- FIELD VERIFY THE LOCATION OF ALL UTILITIES, INCLUDING BURIAL DEPTH, PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
- VERIFY WITH THE OWNER PRIOR TO THE START OF WORK THE EXTENT OF DEMOLITION ITEMS TO BE SALVAGED.
- ITEMS NOT BEING SALVAGED SHALL BE TRANSPORTED AND DISPOSED OF IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ADDITIONAL DEMOLITION WORK ASSOCIATED WITH PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS REQUIRED. COORDINATE WORK REQUIRED WITH ALL TRADES.
- ALL DEMOLITION PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL DEMOLITION WORK SHALL BE COORDINATED AND BE PERFORMED IN ACCORDANCE WITH OWNER.
- REMOVE, REPLACE AND/OR REINSTALL ALL EXISTING WALL MOUNTED DEVICE COVER PLATES INCLUDING SWITCHES, RECEPTACLES, OUTLETS, PANEL FACES, RECESSED CABINET FACES, ETC., AS REQUIRED FOR RENOVATION WORK AND PROPER INSTALLATION OF NEW FINISHES. FINISHING/PAINTING AROUND EXISTING NOTED ITEMS WILL NOT BE ACCEPTED.
- SEE SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- CLEAN AND PREPARE ALL EXISTING SURFACES/SUBSTRATES TO REMAIN AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- CLEAN AND PREPARE EXISTING SUBSTRATE IN ALL AREAS RECEIVING NEW FLOOR FINISHES AS REQUIRED BY RENOVATION WORK AND FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- PERFORM DEMOLITION WORK IN A MANNER SO AS TO MINIMIZE DAMAGE TO EXISTING SURROUNDING ITEMS TO REMAIN.
- PATCH ALL EXISTING FLOORS, WALLS, AND CEILINGS AS REQUIRED FOR DEMOLITION AND RENOVATION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
- PATCH ALL EXISTING TO REMAIN FLOORS, WALLS, AND CEILINGS THAT ARE DAMAGED DURING THE COURSE OF DEMOLITION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION WORK.
- FURNISH AND INSTALL FLOOR LEVELING COMPOUND AS NECESSARY TO ACHIEVE A SMOOTH AND MONOLITHIC APPEARANCE FOR PROPER INSTALLATION OF NEW FINISHES.
- CUT AND PATCH EXISTING WALLS AS NECESSARY FOR RENOVATION AND DEMOLITION WORK. WALLS SHALL BE PATCHED TO MATCH ADJACENT EXISTING SURFACES AND PROVIDE A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING.
- IT IS THE INTENT OF THESE DOCUMENTS THAT "PATCH" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE REPAIRED IN A MANNER, WITH SAME OR SIMILAR MATERIALS, PROVIDING A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING MATERIALS AND THE PATCH SHALL BE PREPARED TO RECEIVE NEW FINISHES PER FINISH MANUFACTURER'S RECOMMENDATIONS.
- IT IS THE INTENT OF THESE DOCUMENTS THAT "PREPARED" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE MADE READY TO RECEIVE NEW FINISHES IN ACCORDANCE WITH FINISH MANUFACTURER'S RECOMMENDATIONS.
- REINSTALL ALL WINDOW TREATMENTS WITHIN LIMITS OF WORK AREA. PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.

DEMOLITION KEYNOTES

- CUT AND REMOVE PORTION OF EXISTING WOOD STUD AND PLATER WALL AND ALL RELATED ITEMS COMPLETELY. COORDINATE WITH RENOVATION WORK.
- REMOVE EXISTING DOOR AND ALL RELATED HARDWARE COMPLETELY. EXISTING FRAME TO REMAIN.
- REMOVE EXISTING CEILING TRIM AS REQUIRED FOR NEW CEILING TRIM LAYOUT. COORDINATE WITH RCP AND PME FOR ADDITIONAL WORK.



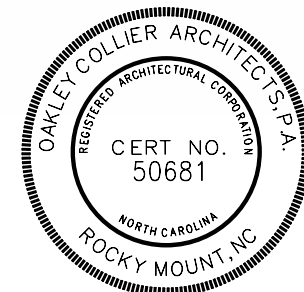
THIRD FLOOR DEMO RCP - PARTIAL
1/4" = 1'-0"

THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT TRAIN STATION
101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804



ROCKY MOUNT, NC



GENERAL NOTE:
Prior to construction start. Contractor shall verify & be responsible for all Dimensions.

Revisions

Date	Project No.
08/06/21	21013
Drawn By	Sheet No.
ABG	D1.1
Checked By	
TDO	
Sheet Title	
THIRD FLOOR DEMOLITION PLAN	

OAKLEY COLLIER ARCHITECTS

109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500
1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

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RENOVATION KEYNOTES

#

1.

PATCH AND REPAINT EXISTING PLASTER AND CEILING IN WAITING AREA ON GROUND FLOOR TO MATCH EXISTING COLOR. SEE ALTERNATES.

2.

CLEAN AND PAINT ALL EXISTING EXTERIOR DOORS AND FRAMES. PAINT DOOR TO MATCH EXISTING COLOR.

3.

INSTALL NEW 1/8" THICK STAINLESS STEEL DIAMOND PLATE METAL SHEETS TO EXTERIOR DOORS TO MATCH EXISTING.

4.

INSTALL DOOR GUARDS ON EXTERIOR DOORS. MATCH EXISTING.

5.

PATCH AND REPAIR ALL DAMAGED WOOD DOORS. VERIFY DAMAGE IN FIELD. PAINT. COLOR TO MATCH EXISTING. SEE ALTERNATES.

6.

REPAIR DAMAGED PLATES ON CONCRETE STEPS. REPLACEMENT PLATE TO MATCH THE EXISTING.

7.

CLEAN REVOLVING DOOR. REPLACE HARDWARE TO MATCH EXISTING.

8.

PAINT EXISTING WINDOW FRAME. COLOR TO MATCH EXISTING.

9.

REMOVE AND REPLACE EXISTING DAMAGED WINDOW GLAZING.

10.

REPLACE EXISTING WINDOW SASH. NEW SASH TO MATCH EXISTING SIZE, STYLE, AND FUNCTION. RECONNECT TO EXISTING MECHANISM TO MAINTAIN SASH OPERATION. Z

11.

PAINT ALL EXISTING EXTERIOR ROOF BRACKETS WITH HIGH PERFORMANCE COATING. PAINT TO MATCH EXISTING COLOR. SEE ALTERNATES.

12.

PATCH AND REPAIR DAMAGED PLASTER AT WINDOW. PAINT. COLOR TO MATCH EXISTING WALLS. PATCH REPAIRED AREA TO NEAREST CONTINUOUS VERTICAL TRIM OR WALL CORNER.

13.

CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING EXTERIOR CANOPY AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF CANOPY. COLOR TO MATCH EXISTING. SEE ALTERNATES.

14.

CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING ROOF AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF ROOF. COLOR TO MATCH EXISTING.

15.

CLEAN, PATCH, AND REPAIR ALL LOOSE/DAMAGED/MISSING FLOOR AND WALL TILE IN BATHROOMS ON THE GROUND FLOOR. TILE TO MATCH EXISTING.

16.

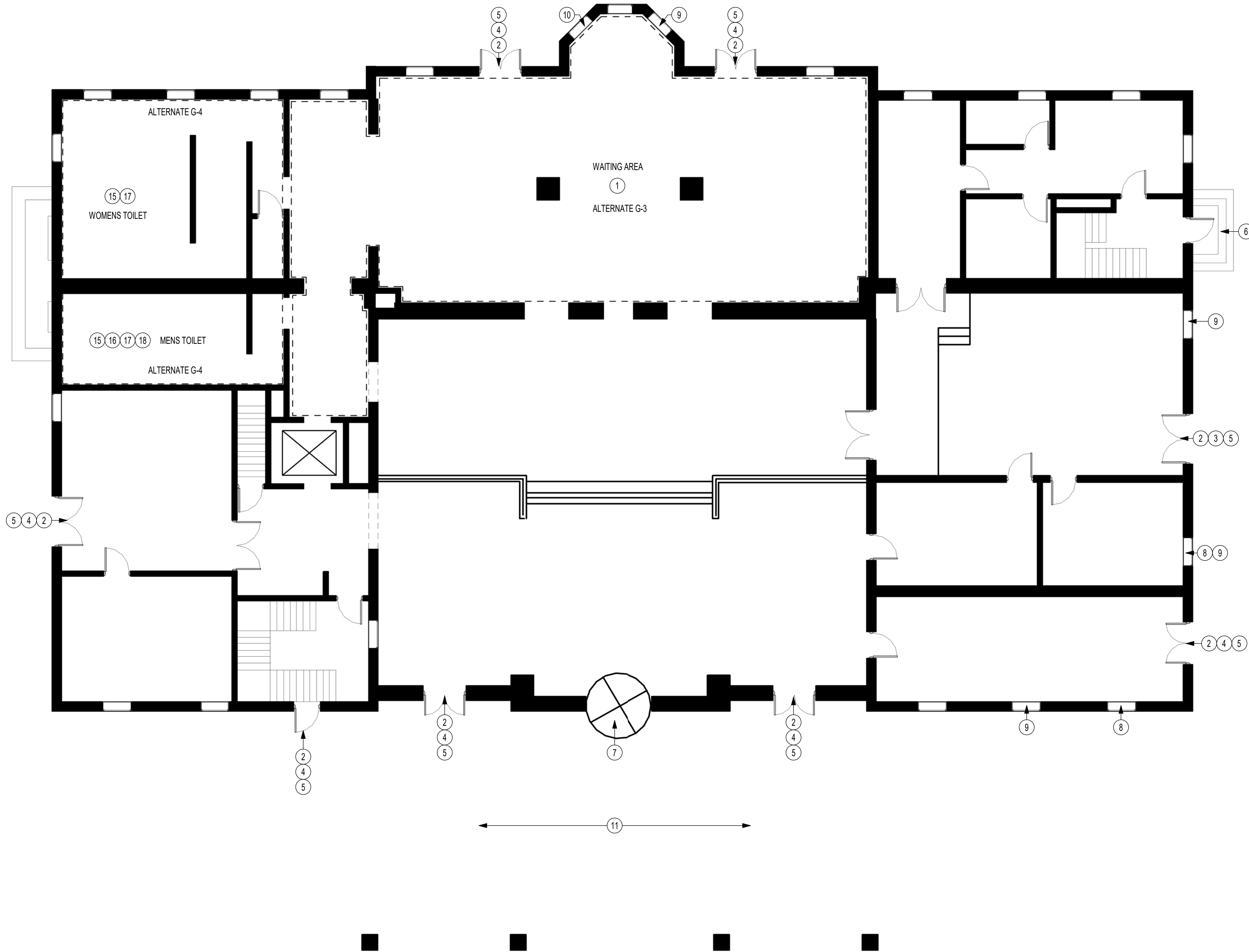
CLEAN, REMOVE EXISTING GRAFFITI, SAND, RESTAIN, AND REPAIR ALL TOILET PARTITION DOORS. RESTAIN TO MATCH EXISTING. SEE ALTERNATES.

17.

PATCH AND REPAIR WATER DAMAGED CEILING. REPAINT, COLOR TO MATCH EXISTING CEILING.

18.

REPAIR/REPLACE EXISTING BROKEN/MISSING BATHROOM FIXTURES AND ACCESSORIES. BATHROOM FIXTURES AND ACCESSORIES TO MATCH EXISTING.



GROUND FLOOR RENOVATION

- GENERAL NOTES
1.

DIMENSIONS THIS PLAN ARE FROM: FACE OF BRICK TO INTERIOR FACE OF EXTERIOR WALL. CENTERLINE TO CENTERLINE OF INTERIOR WALLS.
2.

PROVIDE BRACING BACK TO STRUCTURE FOR INTERIOR WALLS, TYPICAL.
3.

ALL DRYWALL SHALL BE 5/8" AND SHALL EXTEND 4" MINIMUM ABOVE FINISH CEILING (U.N.O.)
4.

INSTALL SOUND ATTENUATION BATT INSULATION FULL HEIGHT IN ALL INTERIOR STUDS FRAMED WALLS.
5.

VERIFY ALL DIMENSIONS AND SIZES PRIOR TO CONSTRUCTION.
6.

SCHEDULE AND COORDINATE ALL INSPECTIONS REQUIRED.
7.

OBTAIN ALL PERMITS REQUIRED.
8.

COORDINATE ALL SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
9.

SEE DOOR AND WINDOW SCHEDULES FOR ALL DOOR AND WINDOW SIZES.

- GENERAL RENOVATION NOTES
1.

FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
2.

FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
3.

EXISTING FLOORS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED TO PROVIDE A SMOOTH AND MANUFACTURER'S ACCEPTABLE SUBSTRATE FOR THE APPLICATION SHOWN. IRREGULAR SURFACES WILL NOT BE ACCEPTED.
4.

UPON COMPLETION OF WORK CLEAN ALL SPACES WHERE DEMOLITION OR CONSTRUCTION HAS BEEN PERFORMED.
5.

TAKE NECESSARY MEASURE TO PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE AND REPAIR/REFINISH ALL MATERIALS DAMAGED BY WORK.
6.

COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
7.

ALL WALLS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED FOR NEW FINISHES PER MANUFACTURER.
8.

PATCH/REPAIR ALL EXISTING WALLS AS NECESSARY THAT ARE DAMAGED DURING COURSE OF WORK.
9.

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10.

PROVIDE FLOOR LEVELING COMPOUND IN ALL AREAS OF DEMOLITION AND RENOVATION WORK FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

OAKLEY COLLIER ARCHITECTS

OCA ARCHITECTS

109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500
1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT TRAIN STATION

101 COASTLINE STREET

ROCKY MOUNT, NORTH CAROLINA 27804

ROCKY MOUNT, NC

THE CENTER OF IT ALL

OAKLEY COLLIER ARCHITECTS, P.A.

CERT. NO. 50681

STATE OF NORTH CAROLINA

ROCKY MOUNT, NC

THOMAS D. OAKLEY

ARCHITECT

ROCKY MOUNT, NC

08/06/21

GENERAL NOTE:

Prior to construction start. Contractor shall verify & be responsible for all Dimensions.

Revisions

Date

08/06/21

Project No.

21013

Drawn By

ABG

Sheet No.

A1.1

Checked By

TDO

Sheet Title

GROUND FLOOR RENOVATION PLAN

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GENERAL RENOVATION NOTES

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10. PROVIDE FLOOR LEVELING COMPOUND IN ALL AREAS OF DEMOLITION AND RENOVATION WORK FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

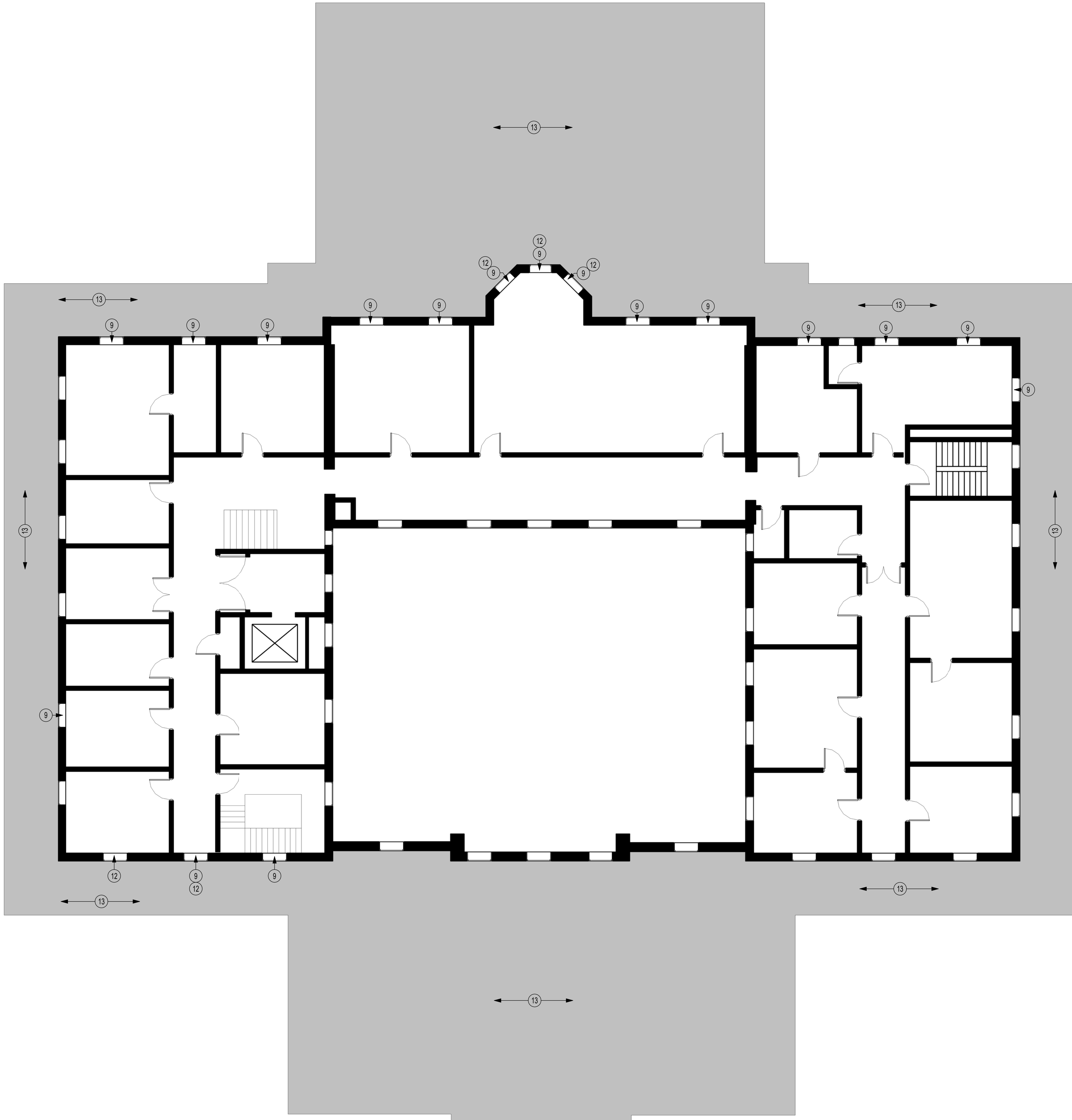
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6. SCHEDULE AND COORDINATE ALL INSPECTIONS REQUIRED.
7. OBTAIN ALL PERMITS REQUIRED.
8. COORDINATE ALL SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
9. SEE DOOR AND WINDOW SCHEDULES FOR ALL DOOR AND WINDOW SIZES.

RENOVATION KEYNOTES

1. PATCH AND REPAINT EXISTING PLASTER AND CEILING IN WAITING AREA ON GROUND FLOOR TO MATCH EXISTING COLOR. SEE ALTERNATES.
2. CLEAN AND PAINT ALL EXISTING EXTERIOR DOORS AND FRAMES. PAINT DOOR TO MATCH EXISTING COLOR.
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7. CLEAN REVOLVING DOOR. REPLACE HARDWARE TO MATCH EXISTING.
8. PAINT EXISTING WINDOW FRAME. COLOR TO MATCH EXISTING.
9. REMOVE AND REPLACE EXISTING DAMAGED WINDOW GLAZING.
10. REPLACE EXISTING WINDOW SASH. NEW SASH TO MATCH EXISTING SIZE, STYLE, AND FUNCTION. RECONNECT TO EXISTING MECHANISM TO MAINTAIN SASH OPERATION. Z.
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12. PATCH AND REPAIR DAMAGED PLASTER AT WINDOW. PAINT, COLOR TO MATCH EXISTING WALLS. PATCH REPAIRED AREA TO NEAREST CONTINUOUS VERTICAL TRIM OR WALL CORNER.
13. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING EXTERIOR CANOPY AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF CANOPY. COLOR TO MATCH EXISTING. SEE ALTERNATES.
14. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING ROOF AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF ROOF. COLOR TO MATCH EXISTING.
15. CLEAN, PATCH, AND REPAIR ALL LOOSE/DAMAGED/MISSING FLOOR AND WALL TILE IN BATHROOMS ON THE GROUND FLOOR. TILE TO MATCH EXISTING.
16. CLEAN, REMOVE EXISTING GRAFFITI, SAND, RESTAIN, AND REPAIR ALL TOILET PARTITION DOORS. RESTAIN TO MATCH EXISTING. SEE ALTERNATES.
17. PATCH AND REPAIR WATER DAMAGED CEILING. REPAINT, COLOR TO MATCH EXISTING CEILING.
18. REPAIR/REPLACE EXISTING BROKEN/MISSING BATHROOM FIXTURES AND ACCESSORIES. BATHROOM FIXTURES AND ACCESSORIES TO MATCH EXISTING.

 = SHADE DENOTES CANOPY / ROOF SOFFIT AREA TO BE REPAINTED

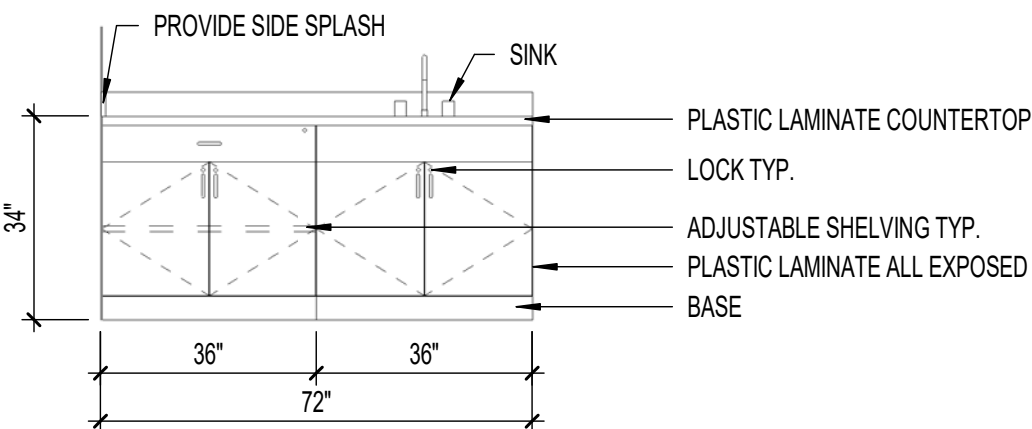


SECOND FLOOR RENOVATION - EXTERIOR

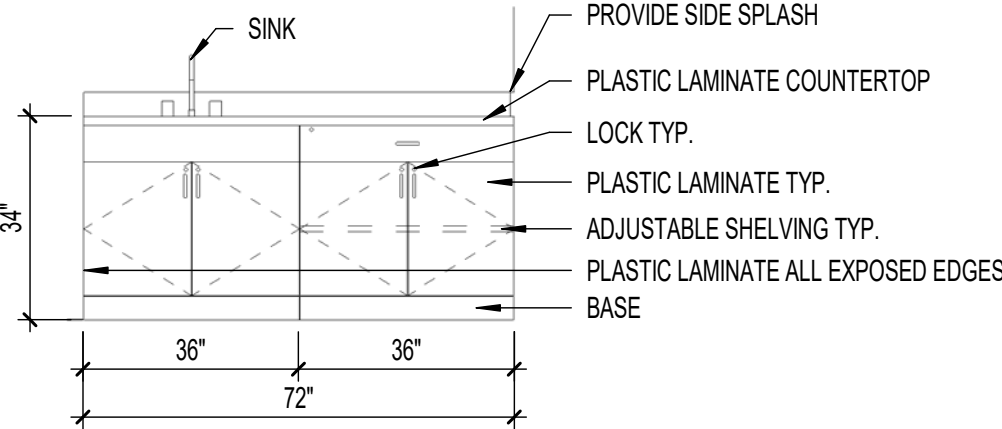
1/8" = 1'-0"

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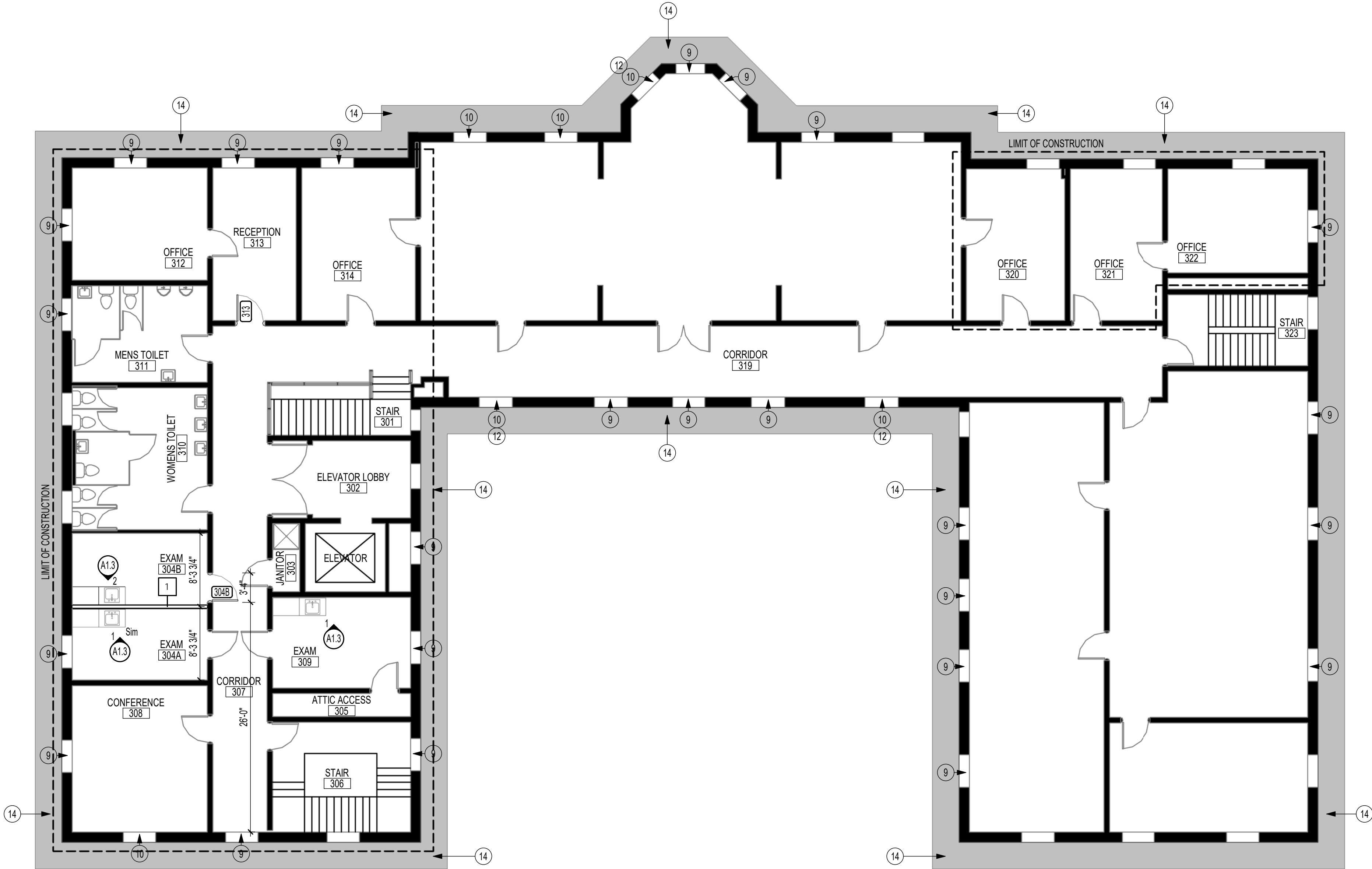
FINISH SCHEDULE									
ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	ROOM NUMBER
				NORTH	SOUTH	EAST	WEST		
301	STAIR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	301
302	ELEVATOR LOBBY	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	302
303	JANITOR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	303
304A	EXAM	SHEET VINYL	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	304A
304B	EXAM	SHEET VINYL	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	304B
305	ATTIC ACCESS	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	305
306	STAIR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	306
307	CORRIDOR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	307
308	CONFERENCE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	308
309	EXAM	SHEET VINYL	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	309
310	WOMENS TOILET	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	310
311	MENS TOILET	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	311
312	OFFICE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	312
313	RECEPTION	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	313
314	OFFICE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	314
315	MEETING ROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	315
316	MEETING ROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	316
317	MEETING ROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	317
319	CORRIDOR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	319
320	OFFICE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	320
321	OFFICE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	321
322	OFFICE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINT	PAINT	PAINT	PAINT	REPAINT TO MATCH EXISTING	322
323	STAIR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	323
324	CHURCH	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	324
325	STORAGE	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	325
326	STORAGE	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	326
327	ELEVATOR	EXISTING TO REMAIN	EXISTING TO REMAIN	ETR	ETR	ETR	ETR	EXISTING TO REMAIN	327



1
A1.3 EXAM 304A AND 309
3/8" = 1'-0"



2
A1.3 EXAM 304B
3/8" = 1'-0"



THIRD FLOOR RENOVATION
1/8" = 1'-0"

GENERAL RENOVATION NOTES

- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
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- REPAIR/REPLACE EXISTING BROKEN/MISSING BATHROOM FIXTURES AND ACCESSORIES. BATHROOM FIXTURES AND ACCESSORIES TO MATCH EXISTING.

GENERAL DOOR NOTES

- ALL HARDWARE SHALL MEET ALL APPLICABLE HANDICAP CODES.
- TEMPERED GLAZING SHALL BE USED AS NOTED AND AS REQUIRED BY CODE.
- EXTERIOR DOOR GLAZING SHALL BE 5/8" TEMPERED INSULATING, TYPICAL, U.N.O.
- FURNISH AND INSTALL DOOR CLOSERS AS SCHEDULED IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL HOLLOW METAL DOOR FRAMES SHALL BE FULLY WELDED TYPE, FACTORY PRIMED, AND FIELD PAINTED. COLOR PER ARCHITECT. INSTALL PER MANUFACTURER FOR PROPER INSTALLATION AND OPERATION FOR SPECIFIC APPLICATIONS.
- ALL WOOD DOORS SHALL BE STAIN GRADE, SPECIES, AND COLOR PER ARCHITECT.
- DOOR THRESHOLDS SHALL BE 1/2" MAXIMUM HEIGHT.
- ALL EXISTING DOORS ASSOCIATED DOOR HARDWARE, AND FRAMES TO REMAIN SHALL BE ACCESSED PRIOR TO RENOVATION. ALL EXISTING DOORS, DOOR HARDWARE, AND FRAMES TO REMAIN SHALL BE REFURBISHED TO MATCH PROJECT STANDARDS.

SHADE DENOTES CANOPY / ROOF SOFFIT AREA TO BE REPAINTED

DOOR SCHEDULE

DOOR NUMBER	SIZE				DOOR				FRAME				COMMENTS	DOOR NUMBER
	WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH	GLAZING	ELEVATION	RATING	MATERIAL	FINISH	ELEVATION	RATING		
304B	3'-0"	7'-0"	1 3/4"	SOLID CORE WOOD	PAINT TO MATCH EXISTING	N/A	D1	N/A	WOOD FRAME TO MATCH EXISTING	PAINT TO MATCH EXISTING	D1	N/A		304B
313	3'-0"	7'-0"	1 3/4"	SOLID CORE WOOD	PAINT TO MATCH EXISTING	5/8" TEMPERED	D2	N/A	EXISTING TO REMAIN	REPAINT AFTER DOOR INSTALLATION	D2	N/A		313

GENERAL NOTES

- DIMENSIONS THIS PLAN ARE FROM: FACE OF BRICK TO INTERIOR FACE OF EXTERIOR WALL, CENTERLINE TO CENTERLINE OF INTERIOR WALLS.
- PROVIDE BRACING BACK TO STRUCTURE FOR INTERIOR WALLS, TYPICAL.
- ALL DRYWALL SHALL BE 5/8" AND SHALL EXTEND 4" MINIMUM ABOVE FINISH CEILING (U.N.O.).
- INSTALL SOUND ATTENUATION BATT INSULATION FULL HEIGHT IN ALL INTERIOR STUDS FRAMED WALLS.
- VERIFY ALL DIMENSIONS AND SIZES PRIOR TO CONSTRUCTION.
- SCHEDULE AND COORDINATE ALL INSPECTIONS REQUIRED.
- OBTAIN ALL PERMITS REQUIRED.
- COORDINATE ALL SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
- SEE DOOR AND WINDOW SCHEDULES FOR ALL DOOR AND WINDOW SIZES.

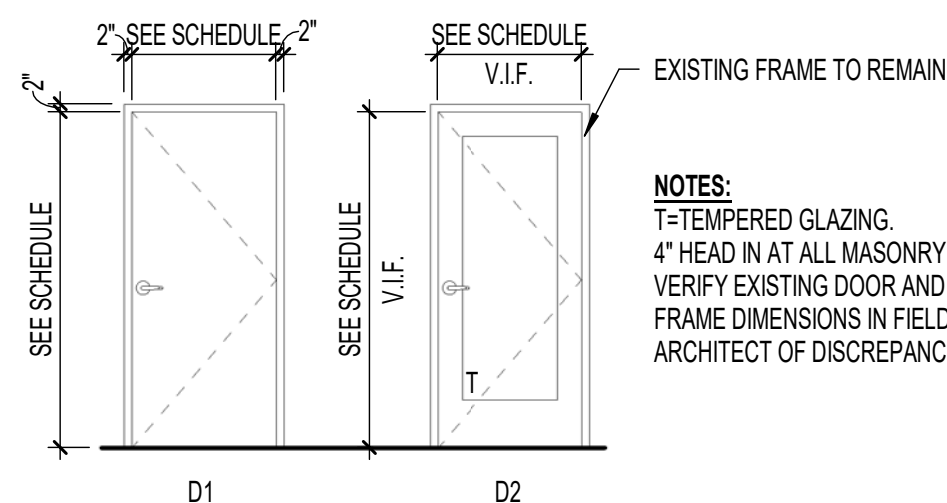
INTERIOR HEADER SCHEDULE

OPENING	SIZE	JACK	JAMB
0'-0" TO 3'-4"	(2) 2"x6" #2 SYP	2	2
3'-4" TO 5'-0"	(2) 2"x8" #2 SYP	2	2
5'-1" TO 7'-0"	(2) 2"x10" #2 SYP	2	3
7'-1" TO 10'-0"	(2) 2"x12" #2 SYP	2	4

ALL HEADERS SHALL BE SIZED TO FIT WALL AND BE SPIKED TOGETHER WITH 16d NAILS AT 12" O.C. STAGGERED WITH (2) EACH END MINIMUM. PROVIDE JACK AND JAMB STUDS AT EACH INTERIOR HEADER LOCATION AS SCHEDULED UNLESS NOTED OTHERWISE ON ARCHITECTURAL.

WALL LEGEND

INTERIOR STUD WALL - TYPICAL U.N.O.		
MARK	PLAN VIEW	REMARKS
1		TOP OF WALL = EXISTING CEILING HEIGHT



NOTES:
T=TEMPERED GLAZING.
4" HEAD IN AT ALL MASONRY LOCATIONS.
VERIFY EXISTING DOOR AND DOOR FRAME DIMENSIONS IN FIELD. NOTIFY ARCHITECT OF DISCREPANCIES.

DOOR - ELEVATIONS

1/4" = 1'-0"

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GENERAL RENOVATION NOTES

1. FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
2. FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
3. EXISTING FLOORS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED TO PROVIDE A SMOOTH AND MANUFACTURER'S ACCEPTABLE SUBSTRATE FOR THE APPLICATION SHOWN. IRREGULAR SURFACES WILL NOT BE ACCEPTED.
4. UPON COMPLETION OF WORK, CLEAN ALL SPACES WHERE DEMOLITION OR CONSTRUCTION HAS BEEN PERFORMED.
5. TAKE NECESSARY MEASURE TO PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE AND REPAIR/REFINISH ALL MATERIALS DAMAGED BY WORK.
6. COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
7. ALL WALLS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED FOR NEW FINISHES PER MANUFACTURER.
8. PATCH/REPAIR ALL EXISTING WALLS AS NECESSARY THAT ARE DAMAGED DURING COURSE OF WORK.
9. NEW FINISHES IMMEDIATELY ADJACENT TO EXISTING FINISHES SHALL MATCH EXISTING AS CLOSE AS POSSIBLE. MATCH EXISTING IMPLIES MATERIAL TYPE, QUALITY, COLOR, PATTERN, TEXTURE, ETC. VERIFY ALL EXISTING FINISHES AT SITE PRIOR TO SUBMITTING BID UNLESS INDICATED DIFFERENTLY BY FINISH SCHEDULE.
10. PROVIDE FLOOR LEVELING COMPOUND IN ALL AREAS OF DEMOLITION AND RENOVATION WORK FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

GENERAL RCP NOTES

- A. ALL ACOUSTICAL CEILING TILES ARE TO BE 9'-0" UNLESS NOTED OTHERWISE.
- B. REFER TO REFLECTED CEILING PLANS FOR CEILING HEIGHTS AND FINISH PLANS FOR CEILING TYPES.
- C. REFER TO HVAC, ELECTRICAL, FIRE PROTECTION, AND PLUMBING FOR FURTHER INFORMATION.
- D. CONTRACTOR TO REVIEW LAYOUT AND NOTIFY ARCHITECT OF ACOUSTICAL CEILING PANELS THAT ARE LESS THAN 3" IN WIDTH OR LENGTH.
- E. ALL NEW LIGHT FIXTURES, EXIT SIGNS, SPRINKLER HEADS AND TERMINAL DEVICES TO BE CENTERED IN CEILING PANELS, UNLESS OTHERWISE INDICATED.
- F. ALL CEILING TO BE CENTERED IN ROOMS UNLESS NOTED OTHERWISE.
- G. NOT ALL MEP DEVICES ARE SHOWN IN CEILING PLANS, SEE MEP DRAWINGS FOR LOCATIONS AND QUANTITIES.
- H. PROVIDE SOUND MASKING THROUGHOUT - DEVICES NOT SHOWN ON REFLECTED CEILING PLANS. ALSO SEE ELECTRICAL DRAWINGS.
- I. FOR PENDANT MOUNTING HEIGHT REFER TO ELEVATIONS AND REFLECTED CEILING PLAN LEGEND.

RCP LEGEND

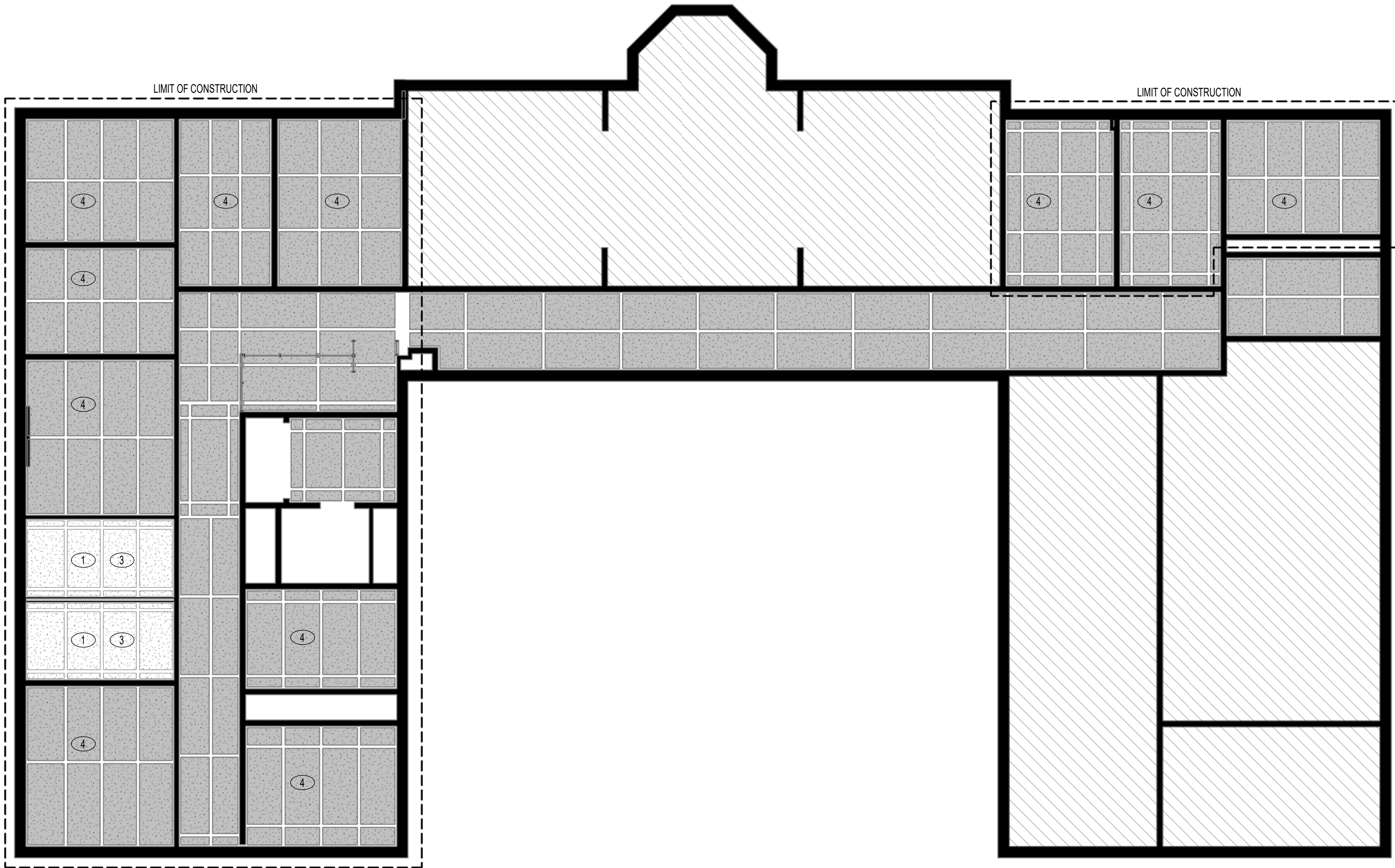
- | | |
|--|--|
| | NEW MODIFIED DECORATIVE GYPSUM BOARD CEILING |
| | EXISTING DECORATIVE GYPSUM BOARD CEILING TO REMAIN |
| | EXISTING CEILING TO REMAIN, NOT IN SCOPE OF CONSTRUCTION |
| | LOCATION OF NEW PLUMBING LINES. COORDINATE WITH PME. |

NOTE:
1. SEE MECHANICAL, ELECTRICAL, AND FIRE PROTECTION PLANS FOR FULL DESCRIPTION OF CEILING MOUNTED ITEMS/DEVICES.



THIRD FLOOR RENOVATION

1/8" = 1'-0"



CEILING KEYNOTES

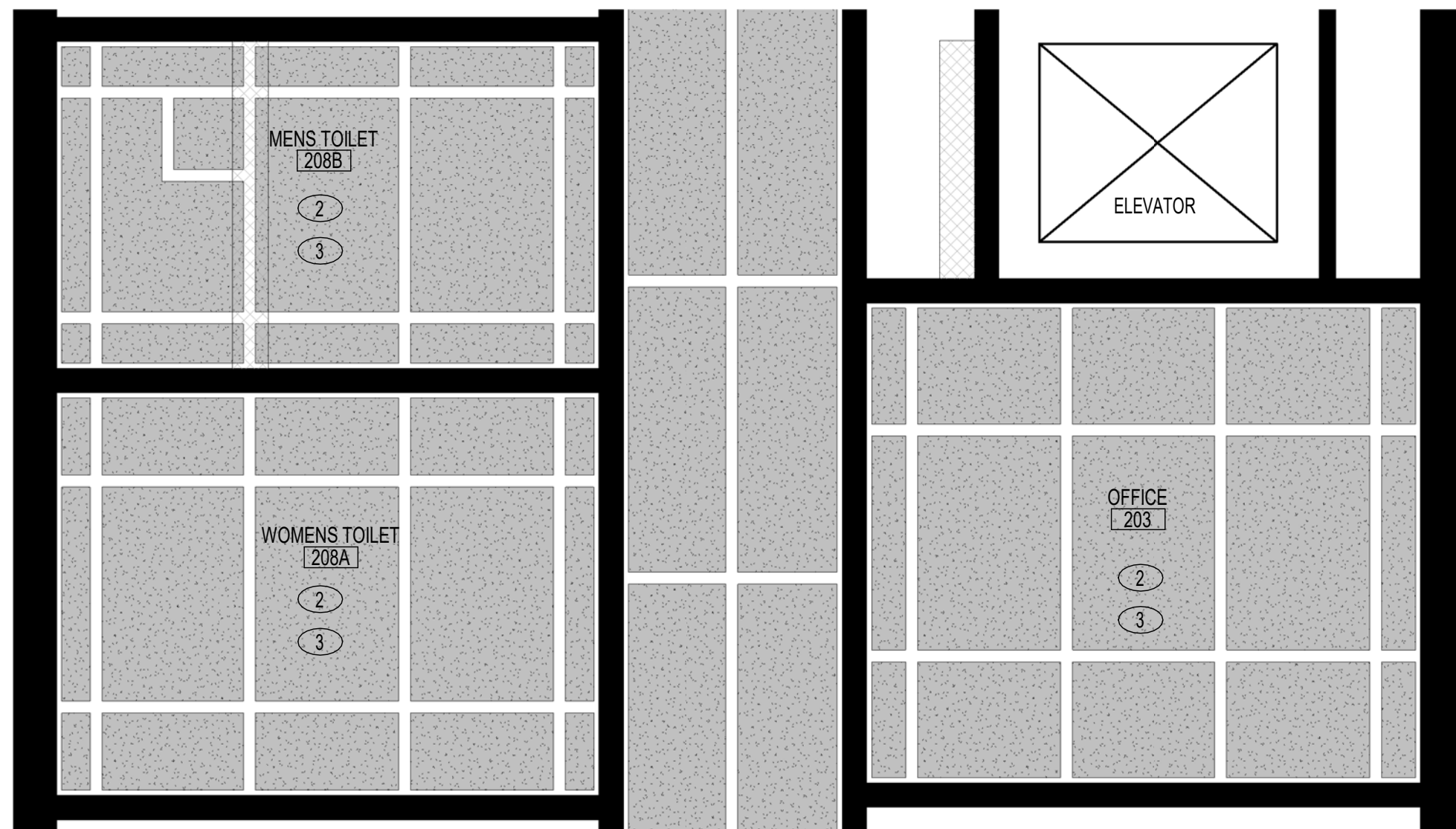
1. MODIFY EXISTING CEILING AS REQUIRED FOR NEW CONSTRUCTION. PATCH/REPAIR TO MATCH EXISTING CONDITIONS AND REPAIR. COLOR TO MATCH EXISTING COLOR.
2. PATCH AND REPAIR EXISTING CEILING AS REQUIRED FOR INSTALLATION OF NEW PLUMBING. COORDINATE WITH PME FOR ADDITIONAL WORK REQUIRED.
3. REPAIR/REPLACE EXISTING 1X WOOD TRIM. SIZE AND PROFILE TO MATCH EXISTING. REPAIR ALL TRIM WITHIN ROOM TO BE MODIFIED. COLOR TO MATCH EXISTING.
4. REPAINT EXISTING CEILING AND 1X TRIM. COLOR TO MATCH EXISTING.



1
A1.4

SECOND FLOOR RCP - PARTIAL

1/4" = 1'-0"



THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT TRAIN STATION
101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804



ROCKY MOUNT, NC
THE CENTER OF IT ALL



GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions

Date
08/06/21

Drawn By
ABG

Checked By
TDO

Project No.
21013

Sheet No.
A1.4

Sheet Title
REFLECTED CEILING PLANS

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QUANTITY (30) APPROXIMATELY 8'-0" DEPTH X 5'-0" HEIGHT



QUANTITY (16) APPROXIMATELY 6'-0" DEPTH X 5'-0" HEIGHT

ALL EXISTING EXTERIOR BRACKETS TO BE PAINTED WITH HIGH PERFORMANCE COATING. SEE SPECIFICATIONS.
PAINT TO MATCH EXISTING COLOR. VERIFY IN FIELD.

DOCUMENTATION - PAINT BRACKETS ⑪

NOT TO SCALE



REPLACE EXISTING DAMAGED/ROTTEN WINDOW SILLS. PAINT TO MATCH EXISTING COLOR.

DOCUMENTATION - WINDOW SASH REPAIR ⑩

NOT TO SCALE



⑬



⑬



⑬



⑬



⑬

CLEAN AND PAINT EXISTING CANOPY UNDERSIDE, AND ROOF SOFFIT.
APPROXIMATELY 11,200 SQUARE FEET COMBINED. COLOR TO MATCH EXISTING.

DOCUMENTATION - CANOPY CLEAN AND PAINT

NOT TO SCALE



⑭



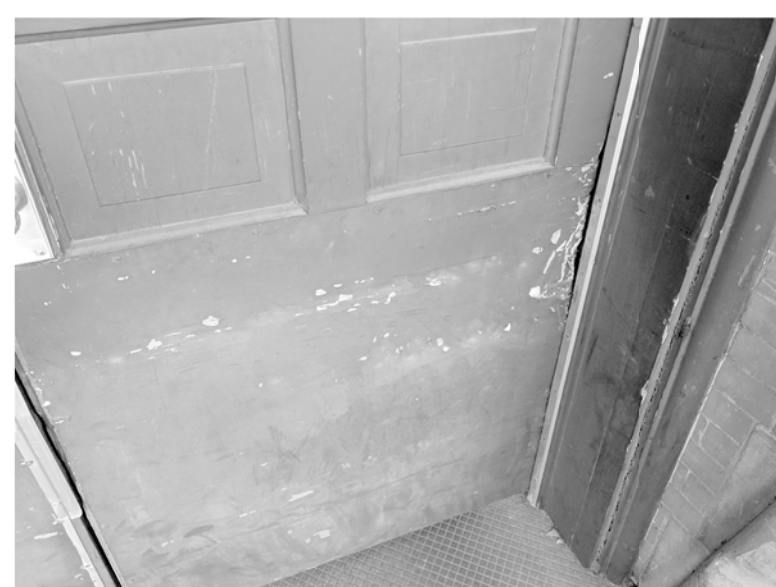
CLEAN AND PAINT ALL EXISTING EXTERIOR DOORS AND GLASS. PAINT DOOR TO MATCH EXISTING COLOR. VERIFY IN FIELD.

DOCUMENTATION - PAINT DOORS ②

NOT TO SCALE



③



INSTALL NEW DIAMOND PLATE SHEETS TO EXISTING DOOR. SEE SPECIFICATIONS FOR SIZE AND COLOR. ③



④

INSTALL DOOR GUARDS ON (4) GLASS EXTERIOR DOUBLE DOORS. DOOR GUARDS SHALL MATCH THE EXISTING GUARDS



PATCH AND REPAIR ALL DAMAGED DOORS. ⑤

DOCUMENTATION - DOOR REPAIR

NOT TO SCALE



CLEAN REVOLVING DOOR. REPAIR HARDWARE. SEE SPECIFICATIONS.



DOCUMENTATION - REVOLVING DOOR REPAIR ⑦

NOT TO SCALE

RENOVATION KEYNOTES

1. PATCH AND REPAINT EXISTING PLASTER AND CEILING IN WAITING AREA ON GROUND FLOOR TO MATCH EXISTING COLOR. SEE ALTERNATES.
2. CLEAN AND PAINT ALL EXISTING EXTERIOR DOORS AND FRAMES. PAINT DOOR TO MATCH EXISTING COLOR.
3. INSTALL NEW 1/8" THICK STAINLESS STEEL DIAMOND PLATE METAL SHEETS TO EXTERIOR DOORS TO MATCH EXISTING.
4. INSTALL DOOR GUARDS ON EXTERIOR DOORS. MATCH EXISTING.
5. PATCH AND REPAIR ALL DAMAGED WOOD DOORS. VERIFY DAMAGE IN FIELD. PAINT, COLOR TO MATCH EXISTING. SEE ALTERNATES.
6. REPAIR DAMAGED PLATES ON CONCRETE STEPS. REPLACEMENT PLATE TO MATCH THE EXISTING
7. CLEAN REVOLVING DOOR. REPLACE HARDWARE TO MATCH EXISTING.
8. PAINT EXISTING WINDOW FRAME. COLOR TO MATCH EXISTING.
9. REMOVE AND REPLACE EXISTING DAMAGED WINDOW GLAZING.
10. REPLACE EXISTING WINDOW SASH. NEW SASH TO MATCH EXISTING SIZE, STYLE, AND FUNCTION. RECONNECT TO EXISTING MECHANISM TO MAINTAIN SASH OPERATION. Z
11. PAINT ALL EXISTING EXTERIOR ROOF BRACKETS WITH HIGH PERFORMANCE COATING. PAINT TO MATCH EXISTING COLOR. SEE ALTERNATES.
12. PATCH AND REPAIR DAMAGED PLASTER AT WINDOW. PAINT, COLOR TO MATCH EXISTING WALLS. PATCH REPAIRED AREA TO NEAREST CONTINUOUS VERTICAL TRIM OR WALL CORNER.
13. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING EXTERIOR CANOPY AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF CANOPY. COLOR TO MATCH EXISTING. SEE ALTERNATES.
14. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING ROOF AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF ROOF. COLOR TO MATCH EXISTING.
15. CLEAN, PATCH, AND REPAIR ALL LOOSE/DAMAGED/MISSING FLOOR AND WALL TILE IN BATHROOMS ON THE GROUND FLOOR. TILE TO MATCH EXISTING.
16. CLEAN, REMOVE EXISTING GRAFFITI, SAND, RESTAIN, AND REPAIR ALL TOILET PARTITION DOORS. RESTAIN TO MATCH EXISTING. SEE ALTERNATES.
17. PATCH AND REPAIR WATER DAMAGED CEILING. REPAINT, COLOR TO MATCH EXISTING CEILING.
18. REPAIR/REPLACE EXISTING BROKEN/MISSING BATHROOM FIXTURES AND ACCESSORIES. BATHROOM FIXTURES AND ACCESSORIES TO MATCH EXISTING.

THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT TRAIN STATION
101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804



ROCKY MOUNT, NC
THE CENTER OF IT ALL



GENERAL NOTE:
Prior to construction start. Contractor shall verify & be responsible for all Dimensions.

Revisions

Date

08/06/21

Drawn By

ABG

Checked By

TDO

Project No.

21013

Sheet No.

A1.5

Sheet Title

DOCUMENTATION

OAKLEY
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RENOVATION KEYNOTES

#

1. PATCH AND REPAINT EXISTING PLASTER AND CEILING IN WAITING AREA ON GROUND FLOOR TO MATCH EXISTING COLOR. SEE ALTERNATES.
2. CLEAN AND PAINT ALL EXISTING EXTERIOR DOORS AND FRAMES. PAINT DOOR TO MATCH EXISTING COLOR.
3. INSTALL NEW 1/8" THICK STAINLESS STEEL DIAMOND PLATE METAL SHEETS TO EXTERIOR DOORS TO MATCH EXISTING.
4. INSTALL DOOR GUARDS ON EXTERIOR DOORS. MATCH EXISTING.
5. PATCH AND REPAIR ALL DAMAGED WOOD DOORS. VERIFY DAMAGE IN FIELD. PAINT, COLOR TO MATCH EXISTING. SEE ALTERNATES.
6. REPAIR DAMAGED PLATES ON CONCRETE STEPS. REPLACEMENT PLATE TO MATCH THE EXISTING.
7. CLEAN REVOLVING DOOR. REPLACE HARDWARE TO MATCH EXISTING.
8. PAINT EXISTING WINDOW FRAME. COLOR TO MATCH EXISTING.
9. REMOVE AND REPLACE EXISTING DAMAGED WINDOW GLAZING.
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11. PAINT ALL EXISTING EXTERIOR ROOF BRACKETS WITH HIGH PERFORMANCE COATING. PAINT TO MATCH EXISTING COLOR. SEE ALTERNATES.
12. PATCH AND REPAIR DAMAGED PLASTER AT WINDOW. PAINT, COLOR TO MATCH EXISTING WALLS. PATCH REPAIRED AREA TO NEAREST CONTINUOUS VERTICAL TRIM OR WALL CORNER.
13. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING EXTERIOR CANOPY AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF CANOPY. COLOR TO MATCH EXISTING. SEE ALTERNATES.
14. CLEAN, PATCH, AND REPAIR UNDERSIDE OF EXISTING ROOF AS REQUIRED TO RECEIVE NEW PAINT. REPAINT COMPLETE UNDERSIDE OF ROOF. COLOR TO MATCH EXISTING.
15. CLEAN, PATCH, AND REPAIR ALL LOOSE/DAMAGED/MISSING FLOOR AND WALL TILE IN BATHROOMS ON THE GROUND FLOOR. TILE TO MATCH EXISTING.
16. CLEAN, REMOVE EXISTING GRAFFITI, SAND, RESTAIN, AND REPAIR ALL TOILET PARTITION DOORS. RESTAIN TO MATCH EXISTING. SEE ALTERNATES.
17. PATCH AND REPAIR WATER DAMAGED CEILING. REPAINT, COLOR TO MATCH EXISTING CEILING.
18. REPAIR/REPLACE EXISTING BROKEN/MISSING BATHROOM FIXTURES AND ACCESSORIES. BATHROOM FIXTURES AND ACCESSORIES TO MATCH EXISTING.



15



15



15



15



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION



16



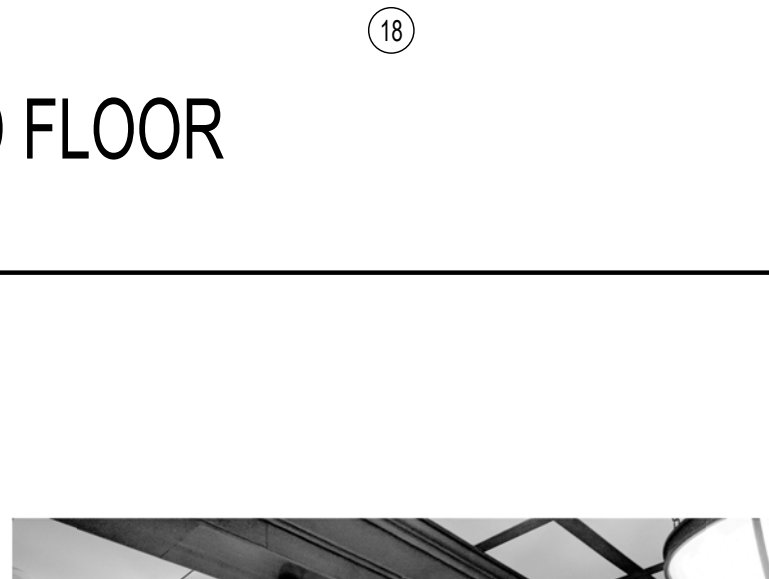
16



17



17



18



18

DOCUMENTATION - GROUND FLOOR BATHROOM

NOT TO SCALE

DOCUMENTATION - EXTERIOR VIEWS

NOT TO SCALE



PAINT EXISTING PLASTER AND CEILING IN WAITING AREA ON GROUND FLOOR TO MATCH EXISTING COLOR. VERIFY IN FIELD.



PATCH AND REPAIR EXISTING SECOND FLOOR CEILING. TO MATCH EXISTING. REQUIRED FOR PLUMBING INSTALLATION ON THIRD FLOOR. COORDINATE WITH PME. PAINT TO MATCH EXISTING. SEE REFLECTED CEILING PLAN.

DOCUMENTATION - MAIN FLOOR

1

NOT TO SCALE

DOCUMENTATION - CEILING REPAIR

NOT TO SCALE

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THIRD FLOOR RENOVATION FOR:
CITY OF ROCKY MOUNT TRAIN STATION
MOUNT TRAIN STREET
101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804

ROCKY MOUNT, NC
THE CENTER OF IT ALL

OAKLEY COLLIER ARCHITECTS, P.A.
REGISTERED ARCHITECTS NORTH CAROLINA
CERT. NO. 50681
NORTH CAROLINA
ROCKY MOUNT, NC

THOMAS D. OAKLEY
ARCHITECT
ROCKY MOUNT, NC
08/06/21

GENERAL NOTE: Prior to construction start. Contractor shall verify & be responsible for all Dimensions.	
Revisions	
Date 08/06/21	Project No. 21013
Drawn By ABG	Sheet No. A1.6
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Sheet Title DOCUMENTATION	

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PLUMBING GENERAL NOTES

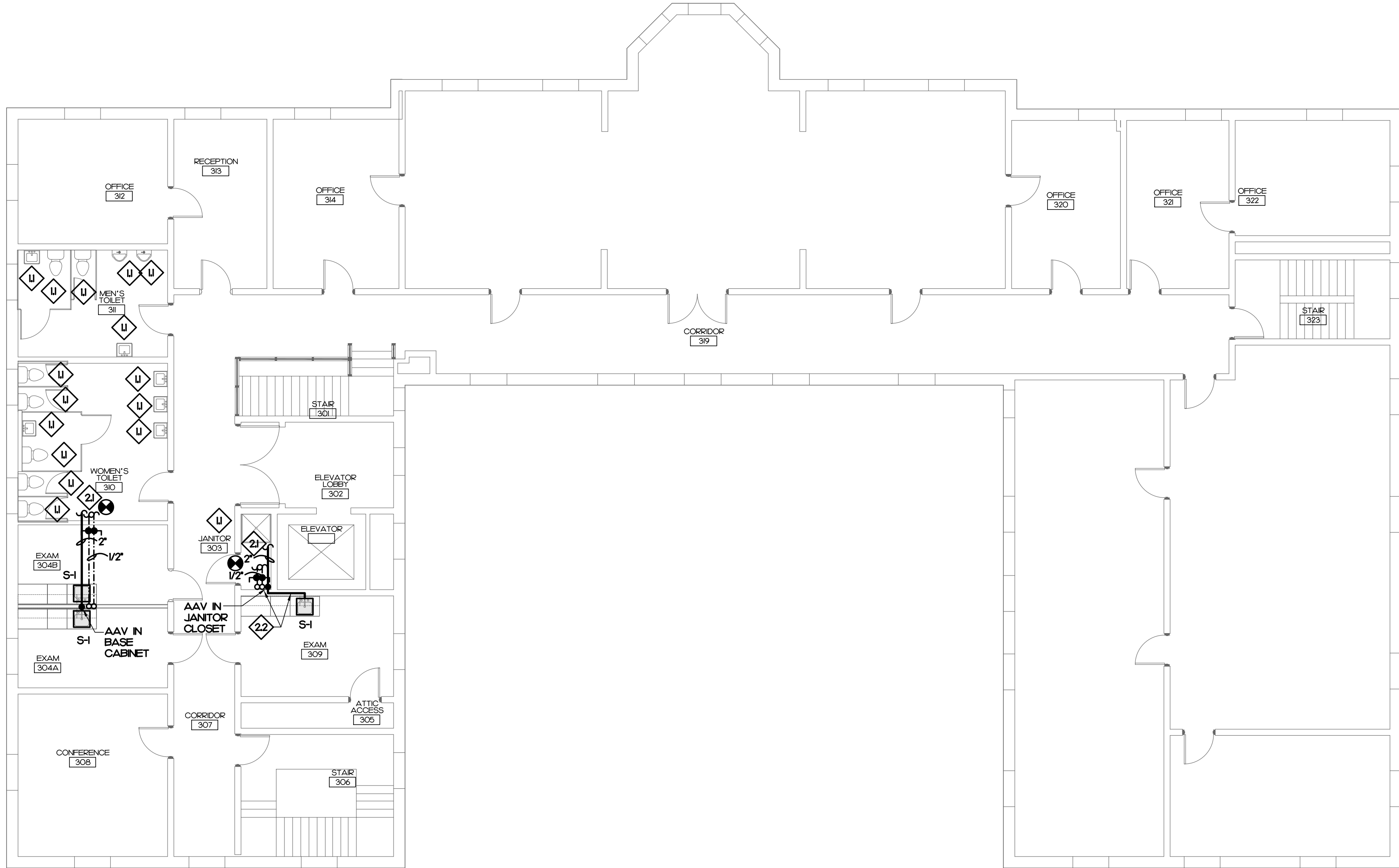
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
- ANY PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID FOR BY THE PLUMBING CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMAN. THE PLUMBING CONTRACTOR SHALL COORDINATE ALL OF HIS WORK WITH ALL OTHER CONTRACTORS.
- THE PLUMBING PLANS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO PURCHASING MATERIALS AND INSTALLATION. ALL DISCREPANCIES OR INTERFERENCE'S SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- THESE PLANS ARE DIAGRAMMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
- THE PLUMBING CONTRACTOR SHALL PROVIDE ALL OPENINGS REQUIRED FOR THE PLUMBING WORK. THE PATCHING SHALL BE BY THE PLUMBING CONTRACTOR AND FINISHING BY GENERAL CONTRACTOR.
- ALL PIPE, FITTINGS, FIXTURES, AND SOLDER TO BE LEAD FREE.
- WATER PIPING BELOW GRADE SHALL BE TYPE "K" COPPER (NO JOINTS BELOW GRADE) AND ABOVE GRADE TYPE 1/2" COPPER, SUPPORTED AS REQUIRED AND SHALL BE HYDROSTATICALLY TESTED FOR ONE HOUR AT 150 PSI TEST TO COMPLY WITH ALL EPA STANDARDS. THE ENTIRE WATER DISTRIBUTION SYSTEM SHALL BE DISINFECTED PRIOR TO PLACING IN SERVICE.
- WATER PIPING LOCATED ABOVE CEILINGS AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE OF CEILING INSULATION (UNDERSIDE) AND WALL INSULATION (INSIDE).
- ALL COLD AND HOT WATER PIPING SHALL BE INSULATED, INSULATE WASTE PIPING AS DESIGNATED ON PLUMBING DRAWINGS. INSULATION SHALL BE 1" FIBERGLASS.
- DO NOT SUPPORT PIPING FROM BAR JOIST BRIDGING AND/OR ROOF DECK.
- WATER SHUT - OFF VALVES ABOVE FINISHED CEILING ARE TO BE FREE FROM OBSTRUCTIONS SUCH AS DUCTWORK, LIGHTS, WIRING AND OTHER PIPING SO AS TO PROVIDE EASY ACCESS. MOUNT NO MORE THAN 2'-0" ABOVE FINISHED CEILING.
- SANITARY SEWER AND VENT PIPING SHALL BE SCHEDULE 40 PVC. CELLULAR CORE (FOAM CORE) IS NOT ALLOWED. SANITARY SEWER AND VENT PIPING SHALL BE GAS AND AIR TIGHT.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION OF ANY WORK.
- LOCATIONS OF UTILITIES (WASTE AND WATER PIPING, ETC.) PROVIDED BY OTHERS, THAT ARE TO BE CONNECTED TO ARE ASSUMED. IT SHALL BE THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO VERIFY THESE LOCATIONS AND MAKE FINAL CONNECTIONS AS REQUIRED.
- VERIFY THE LOCATION OF ALL EQUIPMENT SUPPLIED BY OTHERS.
- SEE ARCHITECTURAL DRAWINGS FOR PLUMBING MINIMUM FACILITY CALCULATIONS.
- ALL INDIRECT WASTE IS TO BE PROVIDED WITH AN AIR GAP 2 TIMES THE SIZE OF THE WASTE INLET.
- THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR DEMOLITION AT NO COST TO THE OWNER.
- THE PLUMBING CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF AS-BUILT DRAWINGS UPON COMPLETION OF PROJECT.

PLUMBING LOAD SUMMARY

	SANITARY SEWER DEMAND FU	WATER DEMAND FU	WATER DEMAND GPM
ADDED	3	6	10.7

PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
	COLD WATER PIPING
	HOT WATER PIPING
	BALL VALVE
	SANITARY SEWER / WASTE PIPING
	PLUMBING FIXTURE PROVIDED AND INSTALLED BY PLUMBING CONTRACTOR
	CONNECT TO EXISTING
	AIR ADMITTANCE VALVE



1 PLUMBING PLAN
1/8" = 1'-0"

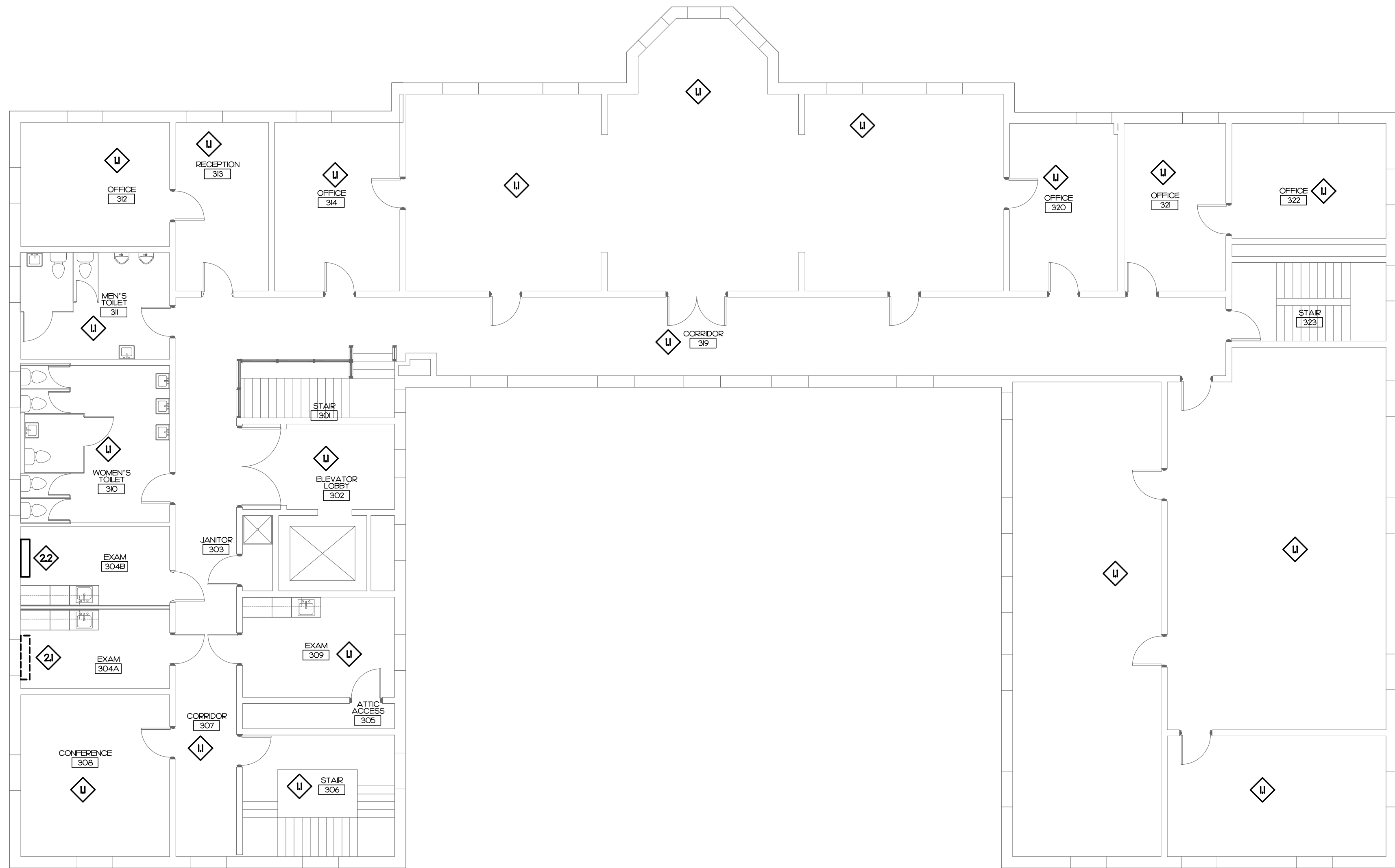
PLUMBING FIXTURE SCHEDULE

SYMBOL / IMAGE	DESCRIPTION	3 - EQUALS						PIPING CONNECTIONS		
		MANUFACTURER	MODEL NUMBER	MANUFACTURER	MODEL NUMBER	MANUFACTURER	MODEL NUMBER	COLD WATER	HOT WATER	SANITARY SEWER
	SINK	JUST	SL-ADA-167-A-GR	ELKAY						
	FAUCET	MOEN	8938	DELTA		AMERICAN STANDARD		1/2"	1/2"	
	TRAP	McGUIRE	8902	KOHLER		DEARBORN BRASS				2"
	SUPPLY	McGUIRE	170	KOHLER	K-76-6-P	BRASSCRAFT	CS400AC			
	STRAINER	JUST	JB-99	ELKAY	LK-99	DEARBORN BRASS	L7			
SINK IS TO BE 18 GAUGE STAINLESS STEEL, SELF-RIMMING. DECK MOUNTED GOOSENECK FAUCET SHALL BE CHROME FINISHED, WITH 1/2" INLET AND PROVIDED WITH AN AERATOR. RIDGID SUPPLY KIT SHALL INCLUDE CHROME PLATED BRASS STOPS WITH THREADED CONNECTIONS AND FLANGE. INLET AND OUTLET SHALL BE 3/8" IPS. PROVIDE WITH McGUIRE PROWRAP INSULATOR.										

PLUMBING KEY NOTES

- EXISTING FIXTURE TO REMAIN. NO WORK.
- CONNECT TO EXISTING WASTE AND WATER PIPING IN CEILING OF THE SECOND FLOOR AS REQUIRED. GENERAL CONTRACTOR TO PROVIDE ACCESS AND REPAIR EXISTING CEILINGS. PROVIDE ISOLATION VALVE AND ACCESS PANEL.
- SEWER, VENT AND WATER TO RISE IN CORNER OF JANITOR CLOSET AND RUN IN WALL TO SINK LOCATION.

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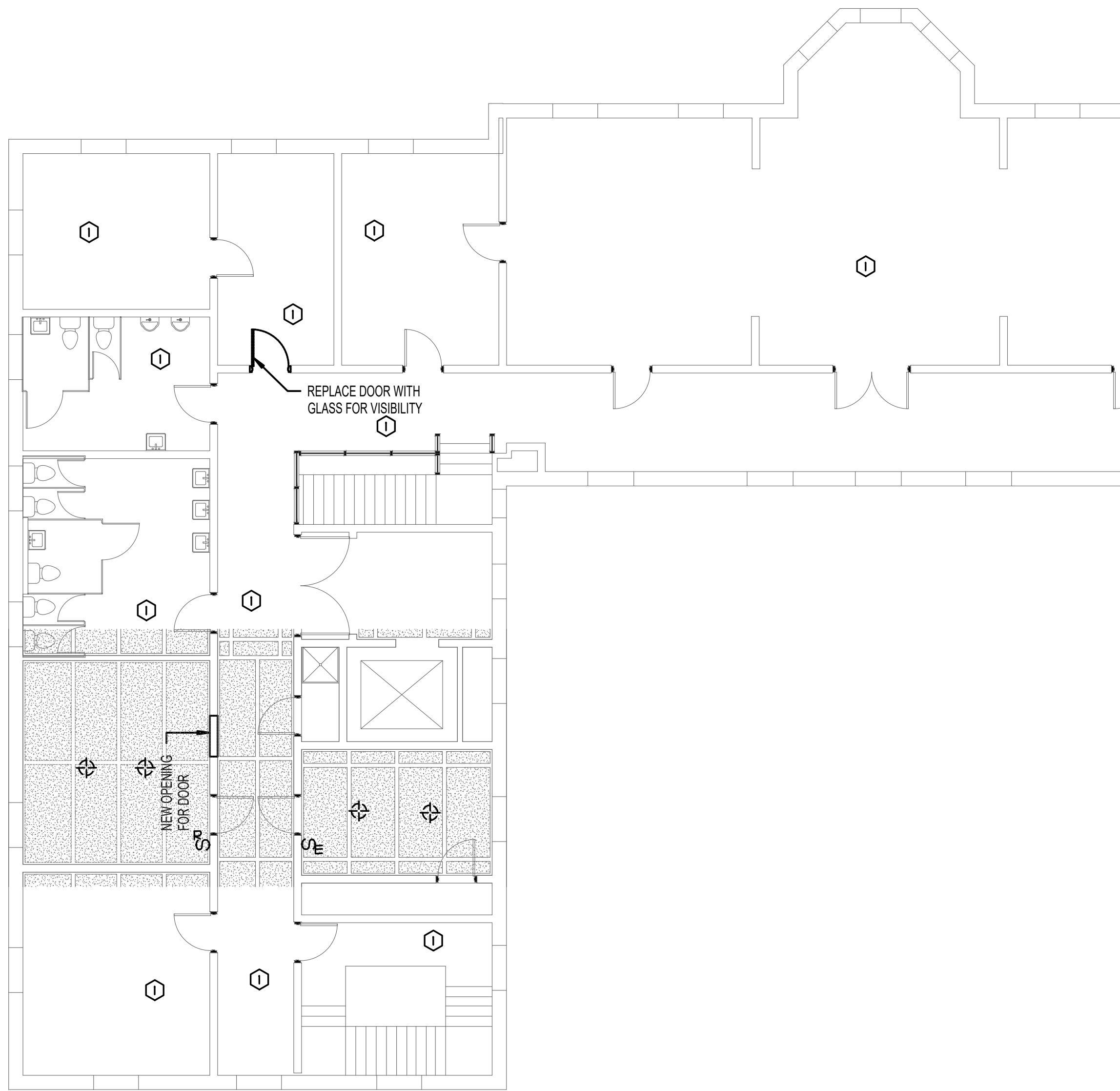
1 MECHANICAL PLAN
M1.1 1/8" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE CODE, ALL LOCAL AND OTHER APPLICABLE CODES.
2. ANY PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID FOR BY THE MECHANICAL CONTRACTOR (M/C).
3. ALL WORK SHALL BE PERFORMED BY EXPERIENCED AND SKILLED CRAFTSMAN. THE M/C SHALL COORDINATE ALL OF HIS WORK WITH ALL OTHER CONTRACTORS.
4. THE MECHANICAL PLANS AND SPECIFICATIONS SHALL BE THOROUGHLY REVIEWED PRIOR TO PURCHASING MATERIALS AND INSTALLATION. ALL DISCREPANCIES OR INTERFERENCES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
5. THESE PLANS ARE DIAGRAMATIC AND MAY NOT SHOW MINOR DETAILS AND LOCATIONS. FOR DIMENSIONS, REFER TO THE ARCHITECTURAL PLANS.
6. THE M/C SHALL BE RESPONSIBLE FOR ALL ELECTRICAL STARTERS, INTERLOCKS, CONTROL WIRING, THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER WIRING, CONDUIT FROM THE DISCONNECT TO M/C EQUIPMENT. THE M/C SHALL BE RESPONSIBLE FOR ALL FINAL CONNECTION TO HIS EQUIPMENT.
7. THE M/C SHALL INSURE THAT ALL MECHANICAL EQUIPMENT INSTALLED UNDER HIS CONTRACT SHALL OPERATE FREE OF OBJECTIONABLE NOISE AND VIBRATION.
8. THE M/C SHALL KEEP THE PREMISES CLEAR OF DEBRIS FROM HIS WORK DURING CONSTRUCTION AND LEAVE THE AREA AND BUILDING CLEAN AT THE COMPLETION OF HIS WORK. HE SHALL ALSO LEAVE CLEAN ALL EXPOSED EQUIPMENT IN HIS CONTRACT.
9. CONDENSER WATER PIPING SHALL BE SCHEDULE 40 BLACK STEEL WITH MALLEABLE IRON THREADED FITTINGS. INSULATE PIPING WITH MIN 1/2" THICK PRE-MOLDED CELLULAR GLASS PIPE INSULATION WITH VAPOR BARRIER JACKET.
10. THE AIR HANDLING UNIT SHALL OPERATE AT ALL TIMES DURING OCCUPIED HOURS.
11. THE MECHANICAL CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A SET OF AS-BUILT DRAWINGS UPON COMPLETION OF JOB.

MECHANICAL KEY NOTES

- U EXISTING TO REMAIN. NO WORK.
- 21 EXISTING NOMINAL 125 TON CONSOLE TYPE WATER SOURCE HEAT PUMP WITH INTEGRAL THERMOSTAT. TO REMAIN.
- 22 PROVIDE NEW NOMINAL 0.75 TON CONSOLE SLOPED TOP TYPE WATER SOURCE HEAT PUMP EQUAL TO DAKIN WZV009, 208/1 VOLT, 41 FLA, 15 MOCP, 8.6 MBH COOLING, 11.3 MBH HEATING, 115 BEER, 42 COP, 15 GPM AT 12 WPD, 30 CFM. PROVIDE WITH MARK IV INTEGRAL CONTROL WITH AUTOCHANGE OVER WITH CONTINUOUS FAN OPERATION, START-STOP SWITCH AND HIGH/LOW FAN SWITCH. PROVIDE WITH DISCONNECT SWITCH. CONNECT NEW 3/4" CONDENSER WATER SUPPLY, RETURN AND CONDENSATE LINES TO EXISTING IN CEILING OF SECOND FLOOR. GENERAL CONTRACTOR TO PROVIDE ACCESS AND REPAIR CEILINGS. PROVIDE STAINLESS STEEL BRAIDED HOSE KIT WITH ISOLATION BALL VALVES AND MANUAL FLOW CIRCUIT SETTER. COORDINATE CABINET COLOR WITH ARCHITECT.



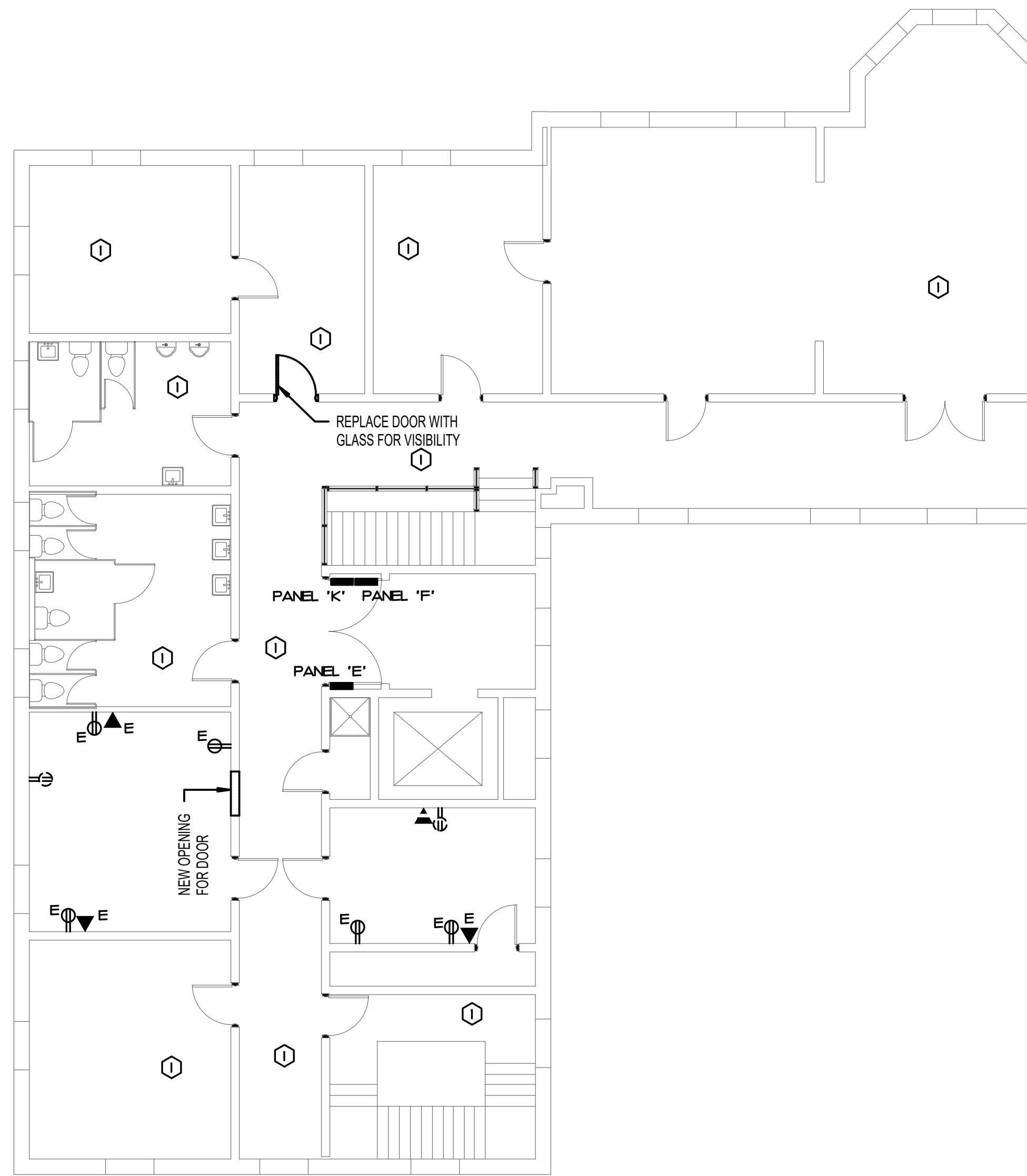
1 DEMOLITION LIGHTING PLAN
E1.1 1/8" = 1'-0"

KEY NOTES

- 1 THIS AREA IS NOT IN CONTRACT.

DEMO SYMBOL LEGEND

- ⬆_{EL} EXISTING SWITCH TO REMAIN.
⬆_{EL} EXISTING SWITCH TO BE REMOVED.
⬆_{EL} EXISTING DOWN LIGHT TO BE REMOVED.



2 DEMOLITION ELECTRICAL PLAN
E1.1 1/8" = 1'-0"

KEY NOTES

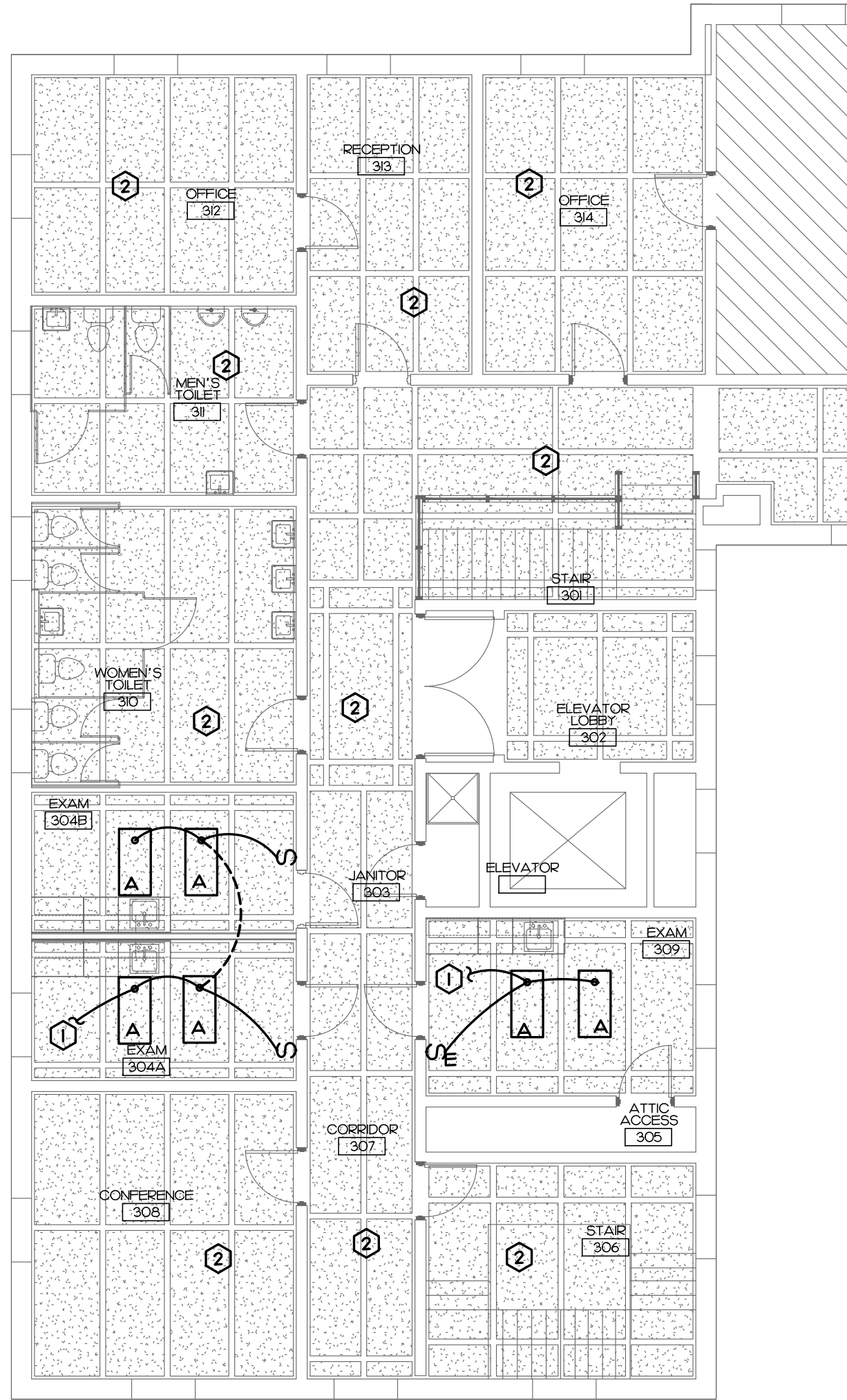
- 1 THIS AREA IS NOT IN CONTRACT.

DEMO SYMBOL LEGEND

- ⬆_{EL} EXISTING DUPLEX RECEPTACLE TO REMAIN.
⬆_{EL} EXISTING COMMUNICATION OUTLET TO BE REMOVED.
⬆_{EL} EXISTING COMMUNICATION OUTLET TO BE REMAIN.
⬆_{EL} EXISTING DUPLEX RECEPTACLE TO BE REMOVED.

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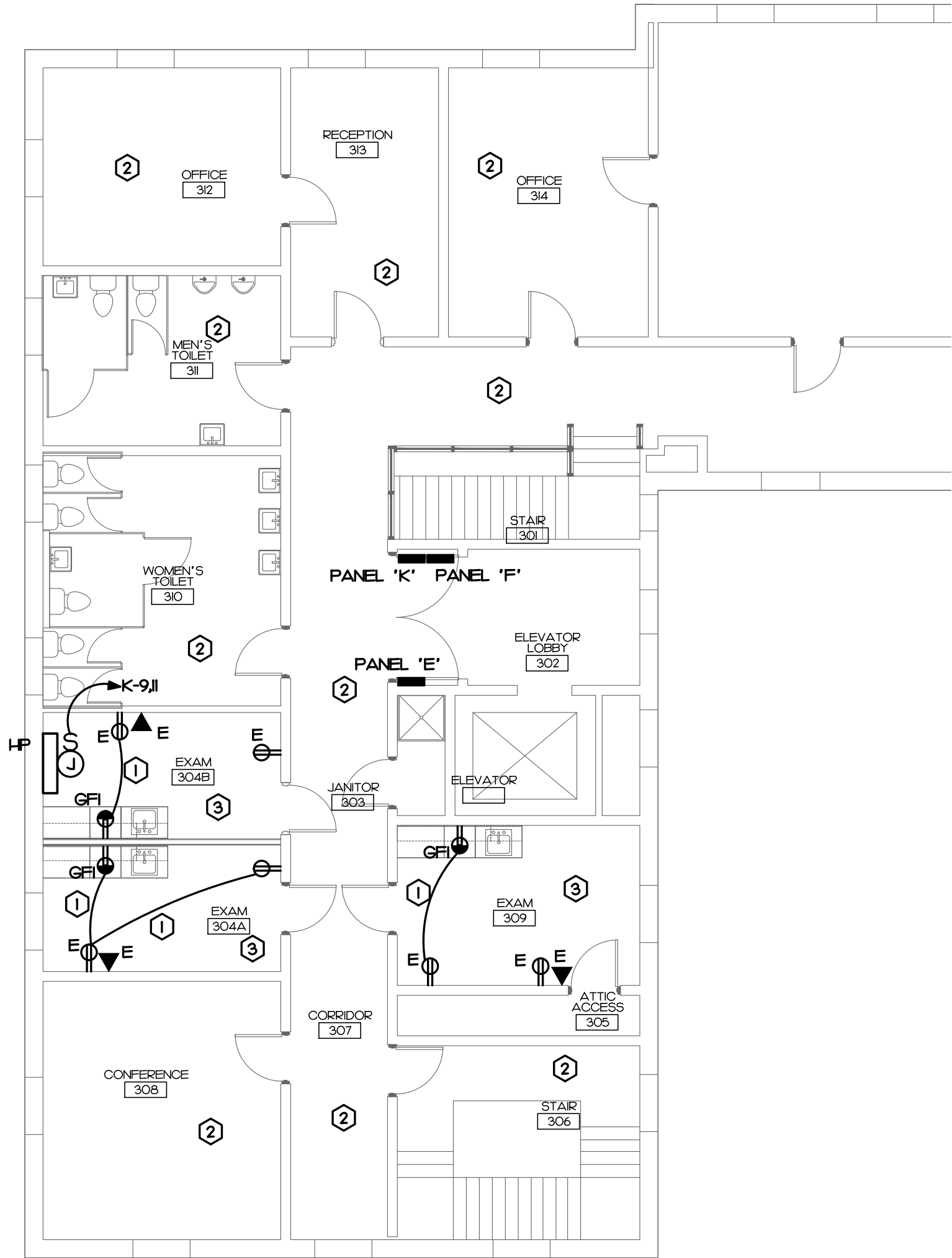
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1 LIGHTING PLAN
El.2 1/8" = 1'-0"

KEY NOTES

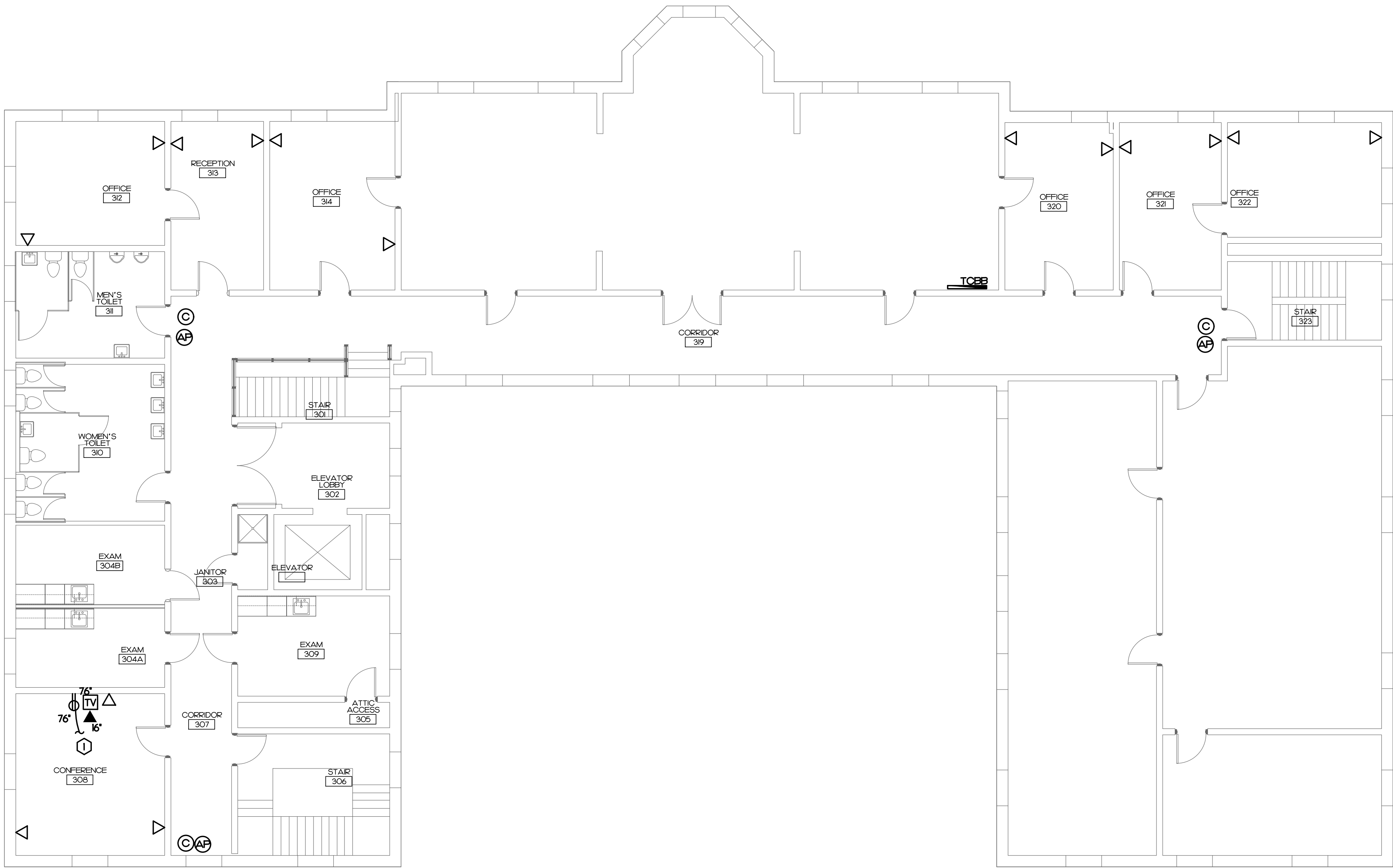
- 1 CONNECT TO EXISTING CIRCUIT SERVING THIS AREA.
2 THIS AREA IS NOT IN CONTRACT.



2 ELECTRICAL PLAN
El.2 1/8" = 1'-0"

KEY NOTES

- 1 CONNECT TO EXISTING CIRCUIT SERVING THIS AREA.
2 THIS AREA IS NOT IN CONTRACT.
3 CONTRACTOR TO VERIFY THE EXISTING WIRING METHOD. IF ALL WIRING IS IN EMT CONDUIT NO CHANGE IS NECESSARY. IF MC/AC CABLE HAS BEEN USED INSIDE EXISTING WALLS, THE CONTRACTOR WILL NEED TO REPLACE ALL WIRING IN THE ROOM WITH APPROVED MEDICAL GRADE MC CABLE. VERIFY ALL WIRING HAS SEPARATE GROUND WIRE.



1 POWER AND DATA PLAN
E1.3 1/8" = 1'-0"

KEY NOTES

- 1 CONNECT TO EXISTING CIRCUIT SERVING THIS AREA.

DATA LEGEND

- ▽ NEW COMMUNICATION OUTLET, 2 PORT, MOUNT BOTTOM OF BOX AT 16" UNLESS NOTED OTHERWISE. STUB 1" CONDUIT TO ATTIC SPACE. PROVIDE 2 RJ45 JACKS WITH 2-CAT6 DATA CABLES (1 BLUE, 1 GREEN) TO THE PATCH PANEL IN THE IDF CABINET.
- TV TV OUTLET - MOUNT PER PLAN, PROVIDE AND INSTALL THE HDMI CABLE WITH CONNECTOR AT THE OUTLET DOWN TO THE HDMI CONNECTOR MOUNTED BELOW. PROVIDE AN RJ45 PORT WITH 1 CAT 6 CABLE (COLOR BY OWNER) TO PATCH PANEL IN IDF CABINET.
- ▼ HDMI CONNECTOR, MOUNT 16" AFF DIRECTLY BELOW THE TV OUTLET. INSTALL BOX WITH HDMI CONNECTOR AND HDMI CABLE TERMINATED TO ANOTHER CONNECTOR AT THE TV OUTLET.
- TCBB EXISTING IDF BACK BOARD
- AF CEILING MOUNTED AP OUTLET, 2 PORT 2 RJ45 CONNECTIONS. INSTALL 2-CAT 6 DATA CABLES (2 YELLOW) TO THE PATCH PANEL IN THE IDF CABINET.
- C CEILING MOUNTED CAMERA OUTLET, 2 PORT WITH RJ45 CONNECTORS. INSTALL 2-CAT 6 DATA CABLES (2 ORANGE) TO THE PATCH PANEL IN THE IDF CABINET.
- A.F.C. ABOVE FINISHED CEILING
- A.F.F. ABOVE FINISHED FLOOR - NOTE ALL MOUNTING DIMENSIONS GIVEN ARE TO THE BOTTOM OF THE OUTLET BOX

DATA NOTES

1. FIELD COORDINATE ALL OUTLET LOCATIONS PRIOR TO ROUGH IN.
2. FIELD COORDINATE CABLE ROUTING BACK TO THE EXISTING IDF LOCATION.
3. PROVIDE TERMINATIONS AT THE IDF PER OWNER DIRECTION.
4. FIELD COORDINATE CABLE ROUTING IN THE ATTIC AREA. PROVIDE J-HOOKS AT A MINIMUM OF EVERY 6'. CABLES SHALL BE NEATLY ROUTED TO ALLOW FOR ATTIC ACCESS AND SERVICE TO OTHER EQUIPMENT IN THE ATTIC. NO CABLES SHALL BE LAID ON THE ATTIC FLOORING.
5. LABEL CABLES PER OWNER DIRECTION.

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OAKLEYCOLLIERARCHITECTS

OCA

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1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

THIRD FLOOR RENOVATION FOR:

CITY OF ROCKY MOUNT TRAIN STATION

101 COASTLINE STREET
ROCKY MOUNT, NORTH CAROLINA 27804

RM

ROCKY MOUNT, NC
THE CENTER OF IT ALL

gm

PROFESSIONAL SEAL
17382
DAVID J. WHITNEY
ENGINEER

7/16/21

NORTH CAROLINA
ATLANTEC ENGINEERS PA
No. C-981
PROFESSIONAL CORPORATION

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions

Date August 6 2021	Project No. 21013
Drawn By AB	Sheet No. E1.3
Checked By DW	
Sheet Title DATA PLAN	

SYMBOL LEGEND

SYMBOL	DESCRIPTION	REMARKS
	2 X 4 LAY-IN FIXTURE - LETTER DESIGNATES TYPE	SEE FIXTURE SCHED.
	SINGLE POLE TOGGLE SWITCH MOUNT 42" AFF. UNLESS NOTED OTHERWISE.	HUBBELL 122-## WITH NPJ COVER PLATE
	SPECIFICATION GRADE DUPLEX RECEPTACLE MOUNT 16" AFF. UNLESS OTHERWISE NOTED.	HUBBELL 5362-## WITH NPJ8 COVER PLATE
	SPECIFICATION GRADE TAMPER RESISTANT GFCI DUPLEX RECEPTACLE MOUNT 4" ABOVE COUNTER/BACKSPLASH.	HUBBELL GFTRST20-## WITH NPJ26 COVER PLATE
	JUNCTION BOX SIZED PER NEC.	
	NEW CONCEALED WIRING	PER NEC.
	UNSWITCHED LIGHTING CONDUCTOR	PER NEC.
	HOME RUN TO PANEL BOARD NUMBERS OF ARROW INDICATE CIRCUITS	PER NEC.
	120/208V 3#, 4W PANEL BOARD - SEE PANEL SCHEDULES	SQUARE D NQ/H-NE

2018 NORTH CAROLINA
ENERGY CODE

LAMP TYPE REQUIRED: NUMBER OF LAMPS: BALLAST TYPE USED: NUMBER OF BALLASTS: TOTAL WATTAGE PER FIXTURE:	ELECTRICAL SYSTEM AND EQUIPMENT METHOD OF COMPLIANCE: PREScriptive			
	LIGHTING SCHEDULE:			
	FLUORESCENT T8/T5	LED	CFL	INCAN
	N/A	SEE FIXTURE	N/A	N/A
LAMP TYPE REQUIRED: NUMBER OF LAMPS: BALLAST TYPE USED: NUMBER OF BALLASTS: TOTAL WATTAGE PER FIXTURE:	LIGHTING SCHEDULE:			
	FLUORESCENT T8/T5	LED	CFL	INCAN
	N/A	SEE FIXTURE	N/A	N/A
	N/A	SCHEDULE	N/A	N/A
LAMP TYPE REQUIRED: NUMBER OF LAMPS: BALLAST TYPE USED: NUMBER OF BALLASTS: TOTAL WATTAGE PER FIXTURE:	LIGHTING SCHEDULE:			
	FLUORESCENT T8/T5	LED	CFL	INCAN
	N/A	SEE FIXTURE	N/A	N/A
	N/A	SCHEDULE	N/A	N/A

TRANSPORTATION		26	295
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NOTES:

DESIGNER STATEMENT:
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THIS BUILDING
COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF
THE NORTH CAROLINA STATE BUILDING CODE, 2018 - ENERGY.

SIGNED:
NAME: DAVID J. WHITNEY, P.E.
TITLE: ENGINEER

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	CATALOG	ELECTRICAL DATA	NOTES
A	2x4 LED FLAT PANEL FIXTURE SURFACE MOUNTED 3000 LUMEN	ELITE LIGHTING 24-FPLHLED-3500L-MVOLT-40K -85-24-FPLHLED-SMK	3500 LUMEN LED, 4000K 0-10V ELECTRONIC 36 WATTS - 40 VA, 120-277V	NOTE

PANEL K

120/208V, 3 PHASE, 4 WIRE

CKT	DESCRIPTION	KVA	C	G	W	CB	CKT	DESCRIPTION	KVA	C	G	W	CB	CKT	DESCRIPTION	KVA	C	G	W	CB	CKT	DESCRIPTION	KVA
1	HP 312,313	1.3	E	E	E	15	1	2	20	E	E	E	E	1.5	LTS	2							
3		1.3	E	E	E	2P	3	4	20	E	E	E	E	0.5	REC 214,313	4							
5	HP 314	1.3	E	E	E	15	5	6	20	E	E	E	E	0.5	REC 314	6							
7		1.3	E	E	E	2P	7	8	20	E	E	E	E	0.5	REC 314	8							
9	HP	0.5	1/2	12	12	15	9	10	20	E	E	E	E	0.5	REC 313	10							
11		0.5				12	2P	11	12	20	E	E	E	0.5	REC 312	12							
13	SPACE ONLY	0.0						13	14	20	E	E	E	0.5	EXST	14							
15	SPACE ONLY	0.0						15	16					0.0	SPACE ONLY	16							
17	SPACE ONLY	0.0						17	18					0.0	SPACE ONLY	18							
19	SPACE ONLY	0.0						19	20					0.0	SPACE ONLY	20							
21	SPACE ONLY	0.0						21	22					0.0	SPACE ONLY	22							
23	SPACE ONLY	0.0						23	24					0.0	SPACE ONLY	24							
25	SPACE ONLY	0.0						25	26					0.0	SPACE ONLY	26							
27	SPACE ONLY	0.0						27	28					0.0	SPACE ONLY	28							
29	SPACE ONLY	0.0						29	30					0.0	SPACE ONLY	30							
31	N/A	0.0						31	32					0.0	SPACE ONLY	32							
33	N/A	0.0						33	34					0.0	N/A	34							
35	N/A	0.0						35	36					0.0	N/A	36							
37	N/A	0.0						37	38					0.0	N/A	38							
39	N/A	0.0						39	40					0.0	N/A	40							
41	N/A	0.0						41	42					0.0	N/A	42							

DESCRIPTION	CONNECTED KVA	DEMAND FACTOR	DEMAND KVA	100 A MINIMUM BUS SIZE 100 A MAIN CIRCUIT BREAKER 10 K MINIMUM AIC RATING	FLUSH MOUNTING NEMA 1 ENCLOSURE GROUND BAR
CONT. LOAD	1.50	125%	1.88		
RECEPTACLE	3.00	100%/50%	3.00		
MTRS/COOLS	0.00	100%	0.00		
HEATS	0.00	100%	0.00		
WATER HEATER	0.00	100%	0.00		
EQUIPMENT	6.20	100%	6.20		
KITCHEN EQUIP.	0.00	65%	0.00		
SPECIAL EQ.	0.00	100%	0.00		
25% OF LARGEST HVAC/MOTOR			0.00		
TOTAL DEMAND			11.08		

NOTES

1. EXISTING SQUARE D: NOOD

2. 'E' DENOTES EXISTING BRANCH CIRCUIT TO REMAIN.

3. PROVIDE NEW BREAKER

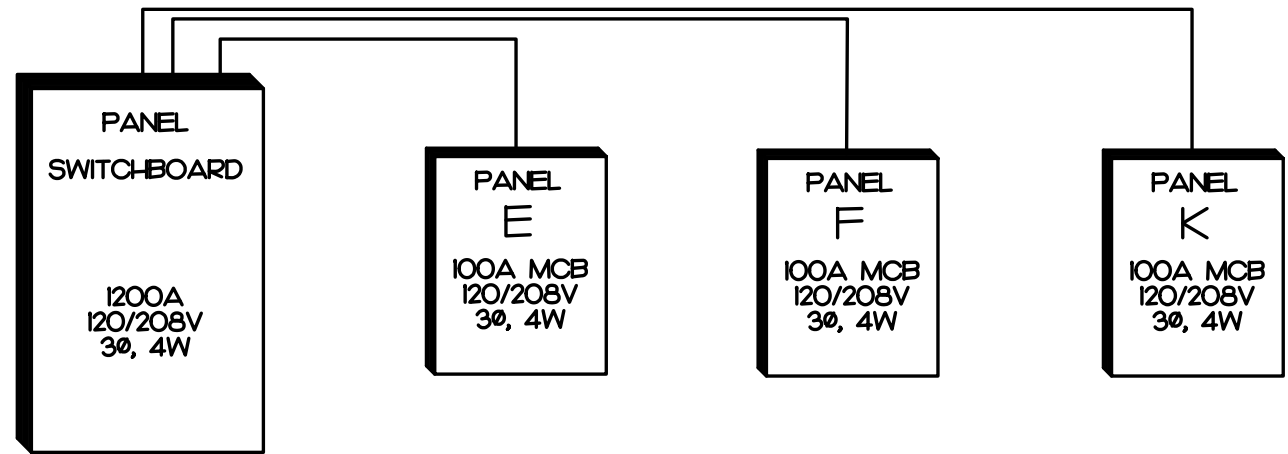
4.

5.

CONNECTED LOADS
PHASE A: 5.1 KVA
PHASE B: 2.8 KVA
PHASE C: 2.8 KVA
TOTAL: 10.7 KVA
DEMAND 31 AMP

- NOTES
1. EXISTING SQUARE D: NOOD
 2. 'E' DENOTES EXISTING BRANCH CIRCUIT TO REMAIN.
 3. PROVIDE NEW BREAKER
 - 4.
 - 5.

PARTIAL POWER RISER



NOTES

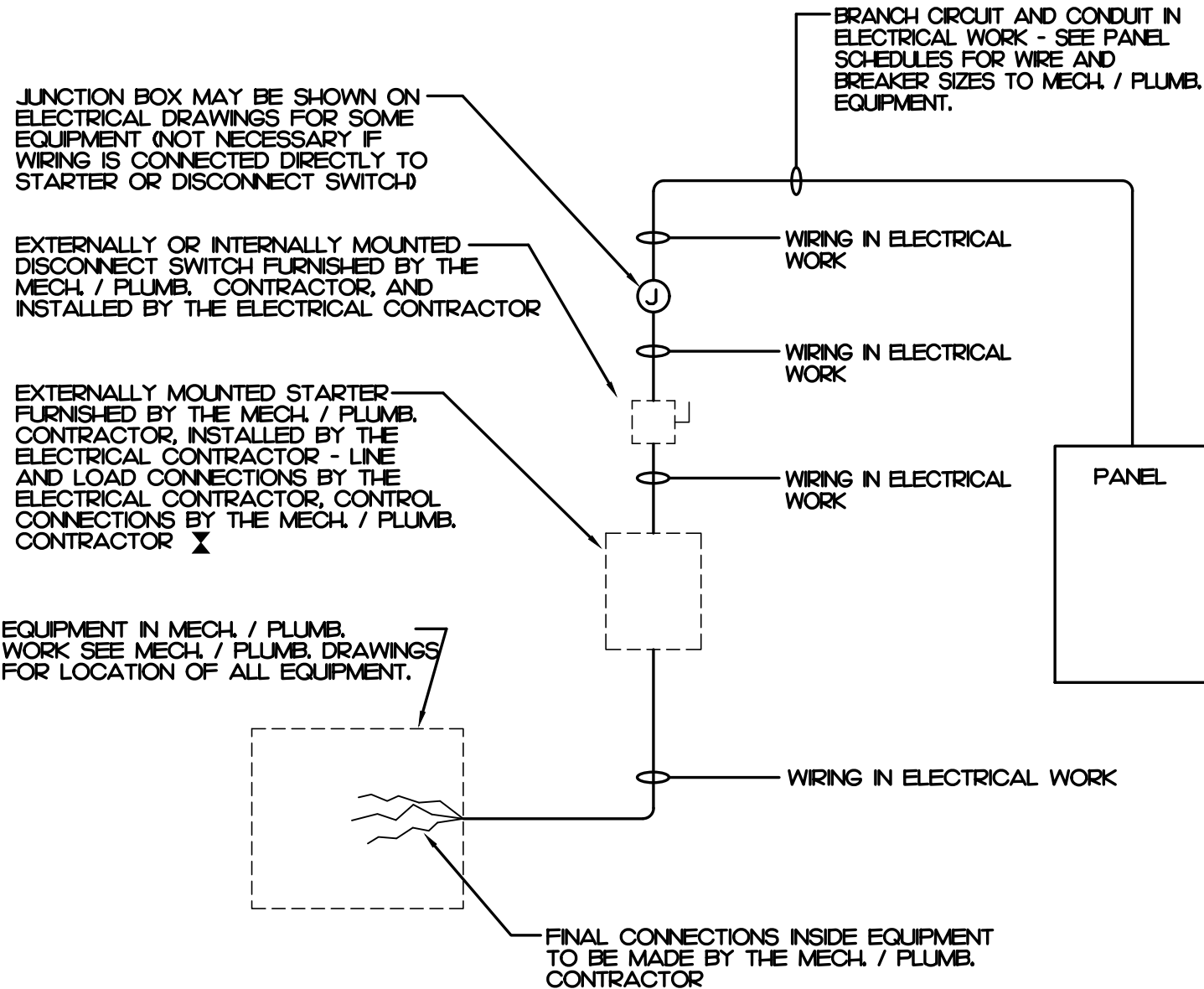
1. ALL ELECTRICAL SERVICE EQUIPMENT IS EXISTING UNLESS OTHERWISE NOTED.

GENERAL NOTES

1. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FLOOR PLAN DIMENSIONS. DO NOT SCALE THESE DRAWINGS.
2. THE ELECTRICAL CONTRACTOR SHALL COORDINATE ANY AND ALL WORK WITH OTHER TRADES INVOLVED IN THE PROJECT, PRIOR TO THE INSTALLATION OF HIS EQUIPMENT SO AS TO AVOID CONFLICTS DURING CONSTRUCTION AND TO ALLOW FOR OPTIMUM MAINTENANCE AND WORKING SPACE.
3. USE OF THE CONDUIT SYSTEM FOR EQUIPMENT GROUNDING SHALL NOT BE ACCEPTABLE. A SEPARATE GREEN GROUND WIRE SHALL BE RUN WITH THE CIRCUIT CONDUCTORS IN EACH CONDUIT.
4. ALL BREAKER SIZES, SHOWN FOR MECHANICAL EQUIPMENT, SHALL BE VERIFIED BEFORE THE PURCHASE OR INSTALLATION OF SAID EQUIPMENT, WITH THE EQUIPMENT SUPPLIER AND THE MECHANICAL CONTRACTOR.
5. ALL WORK AND MATERIAL SHALL BE PROVIDED IN ACCORDANCE WITH THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND 2017 NATIONAL ELECTRICAL CODE (NFPA 70).
6. EACH CONTRACTOR SHALL PROVIDE HIS OWN SUPPORT OF ALL DEVICES AND EQUIPMENT PROVIDED BY HIM AND SHALL SUPPORT SUCH EQUIPMENT PER APPROVED GOVERNING CODES OR PER APPROVAL OF THE ENGINEER. UNACCEPTABLE WORKMANSHIP OR MATERIALS SHALL BE REPLACED AT THE REQUEST OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
7. PENETRATION:
 - WHERE ELECTRICAL EQUIPMENT PENETRATES RATED WALLS AND CEILINGS, EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED PER APPROVED UL METHODS.
 - WHERE ELECTRICAL EQUIPMENT PENETRATES EXTERIOR WALLS, THEY SHALL BE PROPERLY SEALED WITH METHODS APPROVED BY THE ENGINEER. SUBMIT DETAIL OF PROPOSED SEALING METHODS.
10. ALL PERMITS AND INSPECTION FEES SHALL BE SECURED AND PAID BY THE ELECTRICAL CONTRACTOR.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR.
12. THE CONTRACTOR SHALL PROVIDE COMPLETE UPDATED TYPEWRITTEN PANEL SCHEDULES FOR ALL PANELBOARDS.
13. AS BUILT DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE COMPLETION OF THE PROJECT.
14. ALL WIRE SIZES INDICATED ON THE PANEL SCHEDULES ARE BASED ON 75 DEGREE COPPER THHN/THWN WIRE. ALL WIRE TERMINALS AND EQUIPMENT SHALL BE LISTED AND APPROVED FOR 75°C. ONLY THWN-2 WIRE SHALL BE INSTALLED IN WET AND EXTERIOR LOCATION.
15. MINIMUM CONDUIT SIZE SHALL BE 1/2" AND MINIMUM WIRE SIZE SHALL BE #12 AWG.
16. ARMORED CABLE (TYPE AC) AND METAL-CLAD CABLE (TYPE MC) ARE ACCEPTABLE WIRING METHODS SUBJECTED TO THE FOLLOWING RESTRICTIONS:
 - SEE NEC 320 AND 330 FOR RESTRICTION.
 - PENETRATIONS OF RATED WALLS SHALL BE IN ACCORDANCE WITH APPROVED UL PENETRATION METHODS.
 - CABLE SHALL NOT BE USED FOR HOME RUN TO PANEL BOARD.
 - CABLE SHALL ONLY BE INSTALLED IN CONCEALED SPACE AND FLURRED AREAS. MAX. LENGTH OF EACH SECTION IN ACCESSIBLE CONCEALED CEILING SPACES SHALL NOT EXCEED 10 FT.
 - WHERE REQUIRED BY NEC 517.3, CABLE SHALL BE LISTED FOR THE USE.
19. THE MAXIMUM NUMBER OF HOMERUNS IN A CONDUIT SHALL NOT EXCEED THREE (3). FEEDING CIRCUITS WITH SHARED NEUTRAL SHALL BE SWITCHED TOGETHER.
20. PROVIDE ANY MINOR DEMOLITION/REWORK OF EXISTING OUTLETS AND LIGHTING AS REQUIRED FOR THE ADDITION OF THE BATHROOM.

MEDICAL FACILITY NOTES:

1. FACILITY DESIGN IS FOR A DOCTOR OFFICE, GENERAL PRACTITIONER. DESIGN IS NOT FOR A HOSPITAL, NURSING HOME OR AMBULATORY CARE FACILITY. NO SPECIAL POWER SYSTEMS HAVE BEEN DESIGNED FOR PATIENT LIFE SAFETY.
2. PER NEC 517.33, THERE IS NOT A REQUIREMENT FOR A CRITICAL POWER BRANCH IN THIS FACILITY.
3. WIRING IN ALL EXAM ROOMS AND PATIENT CARE AREAS SHALL COMPLY WITH NEC 517.3.
4. NO INVASIVE PROCEDURES OR PROCEDURES THAT IF INTERRUPTED SHOULD THREATEN A PATIENTS LIFE ARE PERFORMED.
5. THERE ARE NO OVERNIGHT STAYS IN ANY BEDROOMS THIS FACILITY.
6. INHALATION ANESTHESIAS ARE NOT ADMINSTRATED.
7. INHALATION OF RELATIVE ANALGESIAS ARE ADMINSTRATED IN ROOM #. THESE ROOMS ARE NOT CONSIDERED AS CLASSIFIED LOCATIONS. ALL 2 POLE, 3 WIRE RECEPTACLES IN THESE ROOMS SHALL BE LISTED FOR HOSPITAL GRADE.



NOTES:

1. A COMBINATION STARTER MAY BE USED IN LIEU OF A SEPARATE DISCONNECT SWITCH AND STARTER
2. E.C. SHALL FURNISH ALL REQUIRED FUSES.

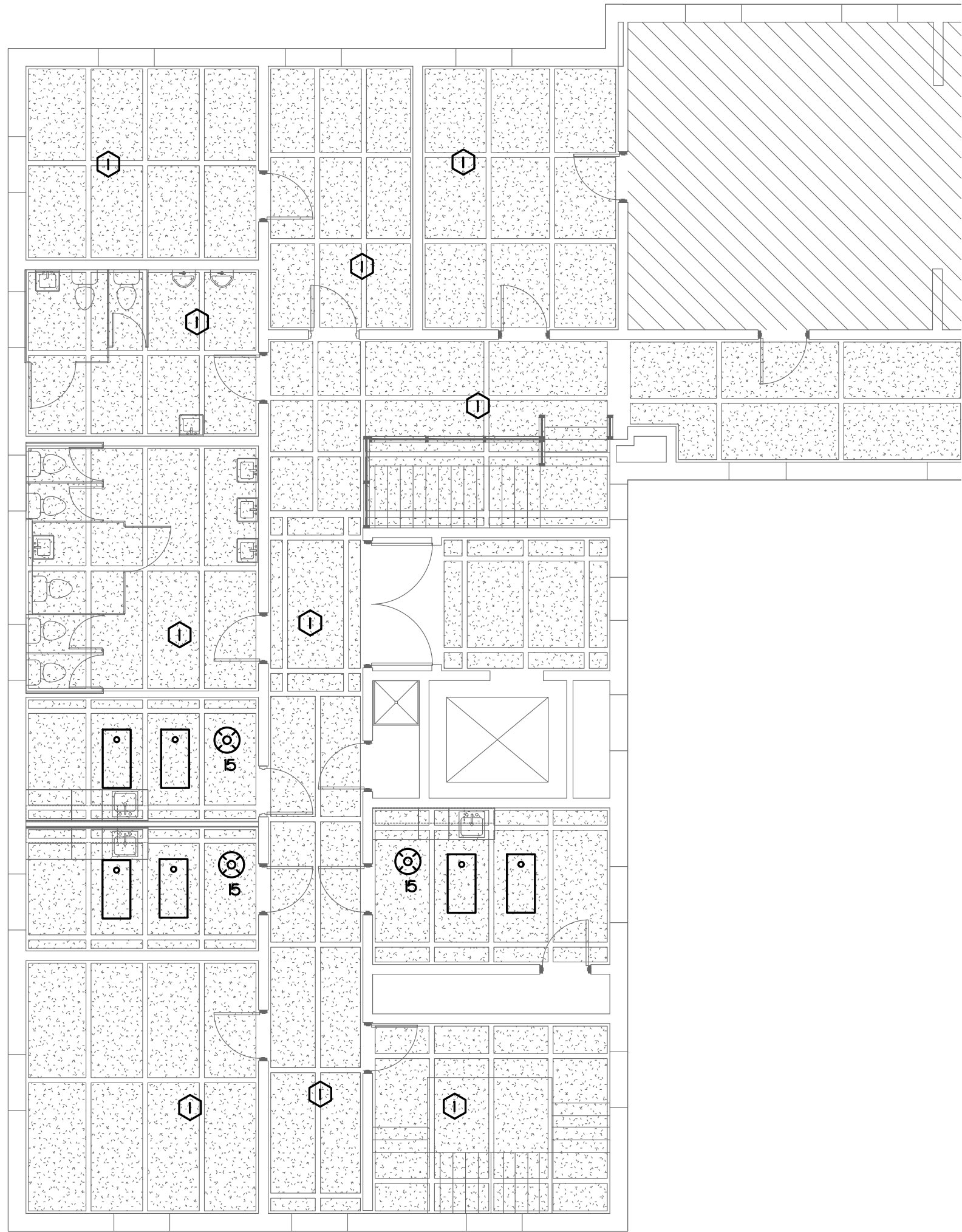
WIRING TO MECHANICAL
AND PLUMBING EQUIPMENT

NOT TO SCALE

GENERAL NOTE:
Prior to construction
start, Contractor shall
verify & be responsible
for all Dimensions.

Date August 6 2021	Project No. 21013
Drawn By AB	Sheet No. E2.1
Checked By DW	Sheet Title LEGEND, NOTES, RISER, AND FIXTURE SCHEDULE

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FIRE ALARM PLAN
1/8" = 1'-0"

KEY NOTES
① THIS AREA IS NOT IN CONTRACT.

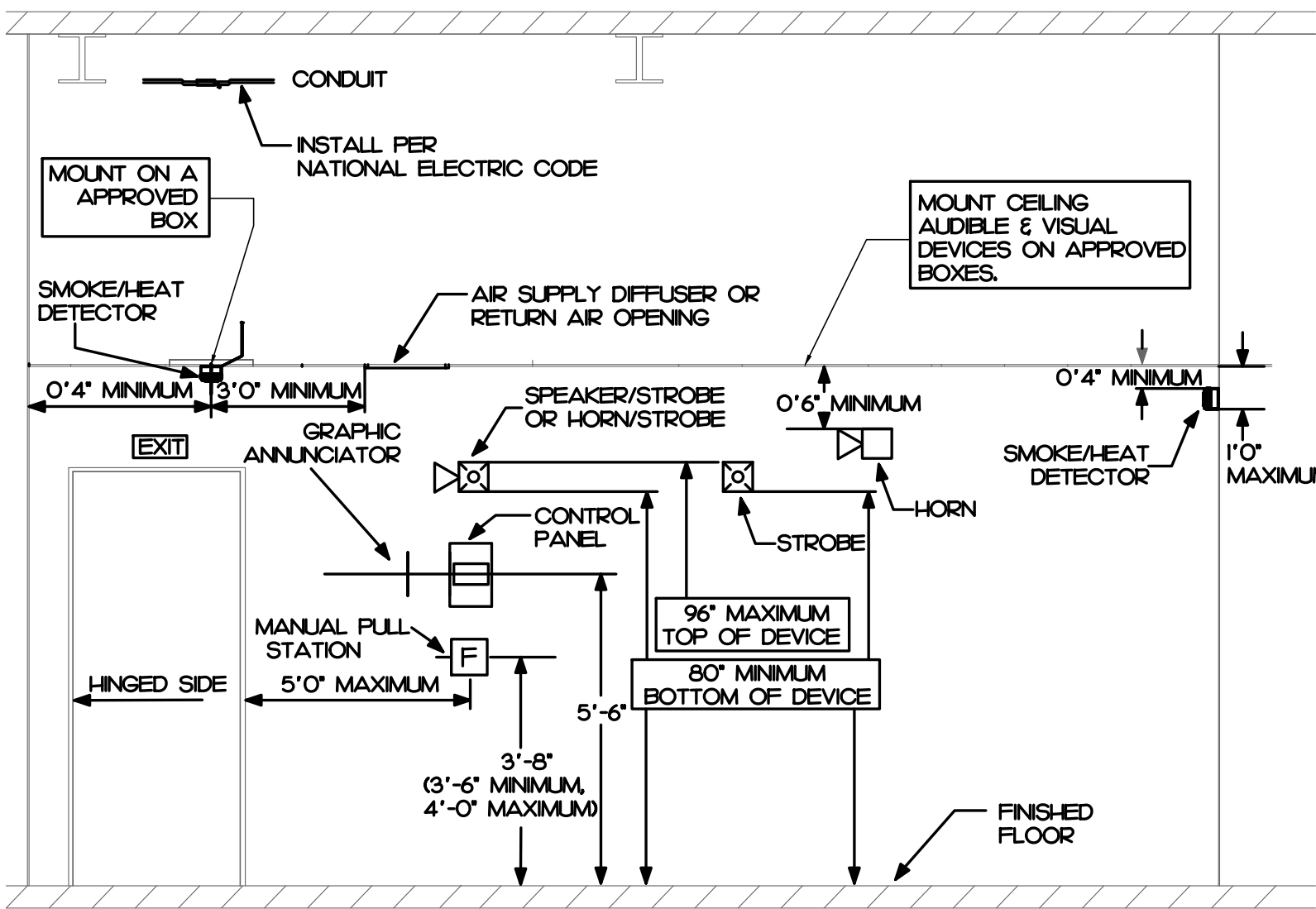
GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.			
Revisions			
Date	Project No.		
August 6 2021	21013		
Drawn By	Sheet No.		
AB	FA1.1		
Checked By	Sheet Title		
DW	FIRE ALARM PLAN		

SYMBOL LEGEND

⊗ 'XX' FIRE ALARM CEILING STROBE.
'XX' INDICATES CANDELA RATING.

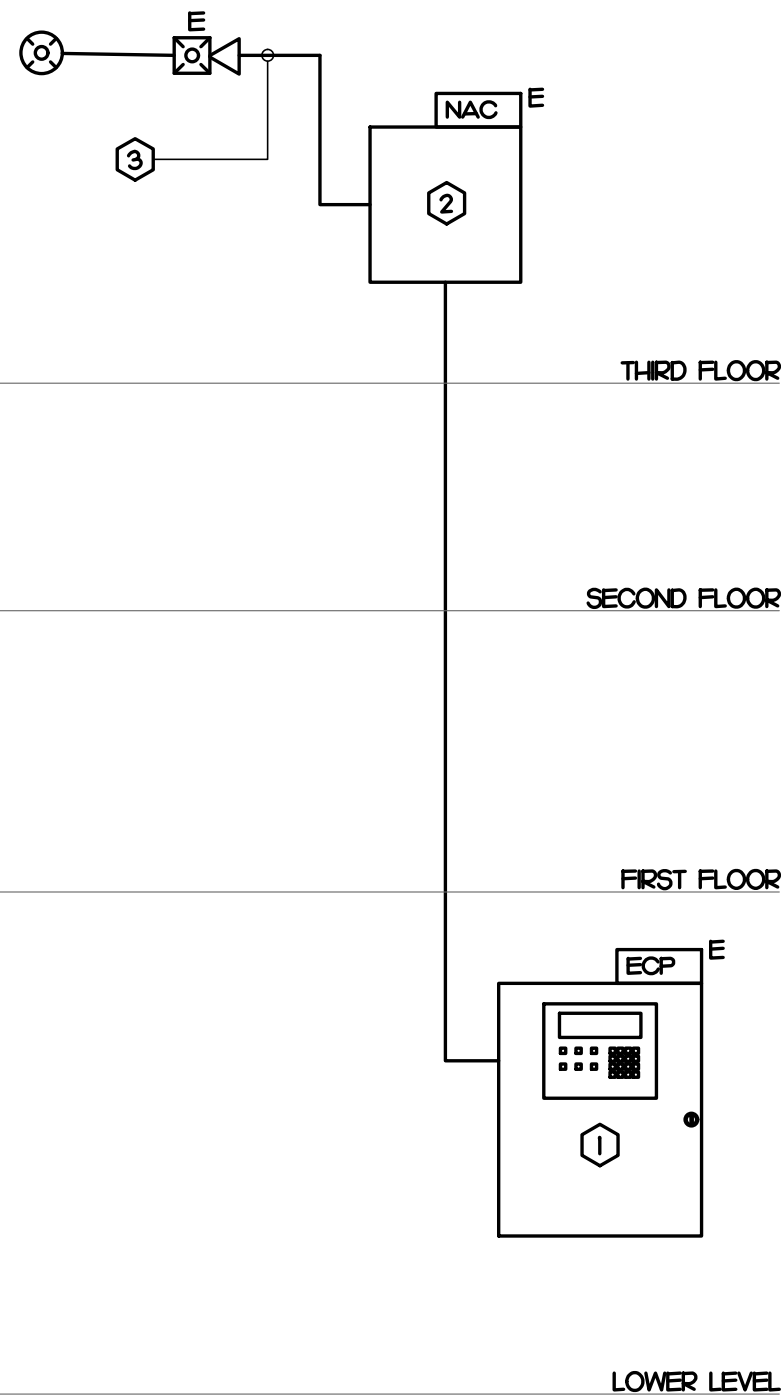
MATCH EXISTING

NFPA 72 AND ADA DEVICE
INSTALLATION REQUIREMENTS



FIRE ALARM NOTES

- SEE PLANS FOR QUANTITY AND LOCATION OF ALL EQUIPMENT.
- THIS PLAN SHOWS ONLY ADDITIONAL EQUIPMENT TO EXISTING FIRE ALARM SYSTEM.
- E.C. SHALL VERIFY CAPACITY OF EXISTING SYSTEM PRIOR DO ANY MODIFICATION.
- ALL MODIFICATION SHALL NOT VOID EXISTING SYSTEM CURRENT WARRANTY OR SERVICE CONTRACT.
- REPROGRAM EXISTING PANEL AS REQUIRED BY E.C.
- SEE SPECIFICATION.
- CONTRACTOR SHALL PROVIDE COMPLETE DOCUMENT PER 2018 FIRE CODE SECTION 907.11 AND 907.12 TO ENGINEER FOR APPROVAL PRIOR TO SUBMIT TO AND TESTING BY STATE FIRE MARSHAL'S OFFICE.
- PLACARD THE ENTIRE FIRE ALARM SYSTEM. PROVIDE PANEL AND CIRCUIT NUMBERS ON A NAME PLATE AFFIXED TO THE FACE OF THE FIRE ALARM CONTROL PANEL.
- CONTRACTOR SHALL PROVIDE UPDATED ZONE MAPS COMPLETE WITH ADDRESSES FOR EACH FIRE ALARM DEVICE. MOUNT MAP(S) ADJACENT TO THE EXISTING FIRE ALARM CONTROL PANEL.
- ELECTRICAL CONTRACTOR SHALL PROVIDE BATTERY CALCULATIONS AND CUT SHEETS FOR FIRE ALARM SYSTEM TO ENGINEER FOR APPROVAL.
- ALL WIRING SHALL BE SUPERVISED.
- ALL WIRING SHALL BE PER MANUFACTURER'S SPECIFICATIONS.
- ADDRESSABLE ANALOG CIRCUIT SHALL BE:
- WIRING CLASS SHALL BE PER EXISTING. FIELD VERIFY.
- ALL WIRING SHALL BE IN CONDUIT.
ALL FIRE ALARM CONDUITS AND BOXES SHALL BE PAINTED WITH RED COLOR.
- ALL NOTIFICATION CIRCUIT WIRING SHALL BE 'CLASS B'.
- PROVIDE WITH 'SYNC MODULE' AS REQUIRED PER NFPA 72.
- FURNISH NOTIFICATION CIRCUITS AS REQUIRED TO ACCOMMODATE CIRCUIT LOADING. NO NOTIFICATION CIRCUIT SHALL BE LOADED TO MORE THAN 80% CAPACITY.
- PROVIDE SOUND (dB) AND CANDELA (Cd) RATINGS FOR ALL HORN/STROBE DEVICES PER NFPA 72. ALL VISIBLE NOTIFICATION APPLIANCES SHALL BE SYNCHRONIZED PER NFPA 72, 18.5.5.7 AND 18.5.3.6.
- A DECIBEL LEVEL OF (5 dB ABOVE AMBIENT ON NFPA 72, TABLE A18.4.3) SHALL BE MAINTAINED IN ALL GENERAL AREAS AND 100 dB (5 dB ABOVE AN AMBIENT OF 85 dB IN NFPA 72, 18.4.3.1) SHALL BE MAINTAINED IN ALL MECHANICAL EQUIPMENT ROOMS PER NFPA 72 AND THE 2018 NORTH CAROLINA STATE BUILDING CODE (SECTION 907.6.2).



KEY NOTES

- EXISTING ADDRESSABLE FIRE ALARM CONTROL PANEL. PROVIDE ADDITIONAL NAC PANEL AS REQUIRED.
- EXISTING NAC PANEL TO REMAIN.
- NOTIFICATION APPLIANCE CIRCUIT AS REQUIRED.

FIRE ALARM SYSTEM
INPUT/OUTPUT MATRIX

FIRE ALARM SYSTEM INPUT/OUTPUT MATRIX		SYSTEM OUTPUTS																			
		FACP ANNUNCIATION					NOTIFICATION					REQUIRED FIRE SAFETY CONTROL									
SYSTEM INPUTS		SYSTEM OUTPUTS																			
		SYSTEM OUTPUTS																			
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