

RENOVATION FOR: CITY OF ROCKY MOUNT BUSINESS CENTER

224 SOUTH FRANKLIN STREET
ROCKY MOUNT, NORTH CAROLINA 27804
RFP# 320-270422CC



ROCKY MOUNT, NC
THE CENTER OF IT ALL

OAKLEY
COLLIER
ARCHITECTS
OCA ARCHITECTS

TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT
BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



BID SET



BID SET

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions

#	Description	Date

Date: 05/03/22 Project No: 21049

Drawn By: ABG Sheet No: G0.1

Checked By: TDO

Sheet Title: COVERSHEET

ABBREVIATIONS

@ ACC ACCENT COLOR	ELEV ELEVATION	MTL METAL	SSG STRUCTURAL SILICON GLAZING
ACOUS ACUSTIC	EN ENAMEL	MMV METAL WALK-OFF MAT	SSM SOLID SURFACE
ACT ACUSTICAL CEILING TILE	EPT HIGH PERFORMANCE EPOXY PAINT	MWV MARBLE WALL TILE	ST STEEL
AD ACUSTICAL WALL PANELS	EO EQUAL	N/A NOT APPLICABLE	ST&R STAIR TREADS AND RISERS
ADJ AREA DRAIN	ES EXISTING	NIC NOT IN CONTRACT	STD STANDARD
ADJ ADJUSTABLE	EXP EXPOSED STRUCTURE	NOM NORMAL	SUS SUSPENDED
AE APPROVED EQUAL	EXT EXTERIOR	OC ON CENTER	T&G TONGUE AND GROOVE
AFF ABOVE FINISH FLOOR	EW EACH WAY	OD OUTSIDE DIAMETER	TB TILE BASE
AFL ATHLETIC FLOORING	EWC ELECTRIC WATER COOLER	OFCI OWNER FURNISHED CONTRACTOR INSTALLED	TC TERRA COTTA
AHU AIR HANDLING UNIT	FC FIRE CODE	OFI OWNER FURNISHED OWNER INSTALLED	TCA TILE COUNCIL OF AMERICA
ALUM ALUMINUM	FD FLOOR DRAIN	OPP OPPOSITE	TELE TELEPHONE
ANOD ANODIZED	FE FIRE EXTINGUISHER	OSC OVERFLOW SCUPPER	TEMP TEMPERED
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE	FEC FIRE EXTINGUISHER SURFACE MOUNTED	OZ OUNCE	TEXT TEXTURED
ATTEN ATTENTION	FF FINISH FLOOR	P PAINT	TFT TERRAZZO FLOOR
AWP ACRYLIC WALL PANELS	FH FIRE HYDRANT	PC POLISHED CONCRETE	TILE TILE
BBT BIODEGRADED TILE	FLU FLOURESCENT	PERF PERFORATED	TOC TOP OF CURB
BF BLOCK FILL	FOF FACE OF FRAME	PFT PORCELAIN FLOOR TILE	TOS TOP OF STEEL
BFC BROOMED FINISHED CONCRETE	FOM FACE OF MASONRY	PV POST INDICATOR VALVE	TP TELEPHONE POLE
BL BUNDLES	FT FLOOR TILE	PL PLATE	TS TRANSITION STRIP
BLDG BUILDING	FTG FOOTING	P-LAM PLASTIC LAMINATE	TV TELEVISION
BLKG BLOCKING	FV FLOOD VENT	P-LAM WD PLASTIC LAMINATE WOOD DOORS	TVB TELEVISION MOUNTING BRACKET
BOT BOTTOM	GA GAGE	PNT PAINT	TYP TYPICAL
BPG BULLET PROOF GLASS	GALV GALVANIZED	PNT PAINT	UL UNDERWRITERS LABORATORY
CB CATCH BASIN	GC GENERAL CONTRACTOR	PP POLYETHYLENE POWER POLE	ULND UTILITY LIGHTS UNLESS NOTED OTHERWISE
CEM CEMENTIOUS SIDING	GCT GRANITE COUNTERTOP	PR PAIR	VACT VINYL ACUSTICAL TILE
CF CORK FLOORING	GEN GENERATOR	PTB PORCELAIN TILE BASE	VB VAPOR BARRIER
CFT CERAMIC FLOOR TILE	GFT GRANITE FLOOR TILE	PTD PAINTED	VCT VINYL COMPOSITION TILE
CG CURVED CEILING GRID	GL GLASS	PTP PLASTIC TOILET PARTITIONS	VERT VERTICAL
CI CAST IRON	GHT GLASS MOSAIC TILE	PWT PORCELAIN WALL TILE	VF VERIFY IN FIELD
CH CURB INLET	GT GROUT	PVC POLYVINYL CHLORIDE	VWC VINYL WALL COVERING
CJ CONTROL JOINT	GWB GYPSUM WALL BOARD	QV QUARTZ SURFACE QUARRY TILE	W WITH
CL CENTERLINE	GYP GYPSUM BOARD	QT QUARTZ TILE	WC WATER CLOSET
CLG CEILING	HB HOSE BIB	QZ QUARTZ TILE	WF WOOD FLOORING
CLR CLEAR	HC HOLLOW CORE HANDICAP	R RADIUS	WT WALL TILE
CMU CONCRETE MASONRY UNIT	HDWD HARDWOOD	R&S ROD AND SHELF RESILIENT BASE	WT* WALL TILE - SEE ELEVATION
CO CLEAN OUT	HM HOLLOW METAL	RCP REINFORCED CONCRETE	WWF WELDED WIRE FABRIC
COL COLUMN	HRZ HORIZONTAL	RD ROOF DRAIN	WMM WELDED WIRE MESH
CONC CONCRETE	HR HOUR	RIL ROOF DRAIN LEADER	
CONSTR CONSTRUCTION	ID INSIDE DIAMETER	RECFP RECYCLED FLOORING	
CONTR CONTRACTOR	IMP INSULATED METAL PANEL	REQD REQUIRED	
COBR CORRUGATED	INSTAL INSTALLATION	RESILIENT	
CPT CARPET	INSUL INSULATION	RM RUBBER MAT	
CPTT CARPET TILE	INT INTERIOR	RO ROUGH OPENING	
CRC COLD ROLLED CHANNEL	INV INVERT	RSF RESINOUS FLOORING	
CRF CORK RUBBER FLOORING	JB JOIST BEARING	RTF RESILIENT TILE FLOORING	
CS COUNTERSUNK	JNB JUNCTION BOX	SAT SPRAYED ACUSTICAL TREATMENT	
CSCI CONTRACTOR SUPPLIED, CONTRACTOR INSTALLED	JT JOINT	SCH SCHEDULE	
CTB CERAMIC TILE BASE	L LONG	SCW SOLID CORE WOOD	
CW CURTAIN WALL	LFT LINOLEUM FLOOR TILE	SDT STATIC DISSIPATIVE TILE	
CWT CERAMIC WALL TILE	LP LIGHT POLE	SF STOREFRONT SHEATHING	
DPA DRY FOG PAINT	LST LINOLEUM SHEET	SP SPACES	
DIA DIAMETER	LVS LEAVES (DOOR)	SQ SQUARE	
DISP DISPENSER	LVT LUXURY VINYL TILE	SQFT SQUARE FEET	
DN DOWN	MATL MATERIAL	SRT SLIP RESISTANT TILE	
DP DEEP	MAX MAXIMUM	SS STAINLESS STEEL	
DR DOOR	MB MASONRY - BRICK	SSC STAINED SEALED CONCRETE	
DS DOWNSPOUT	MBL MARBLE		
DTL DETAIL	MC METAL CANOPY		
EDG EDGE BANDING	MCT METAL CEILING TILE		
EES EMERGENCY EYE WASH AND SHOWER	MECH MECHANICAL		
EFC EPOXY FLOOR COATING	MFR MANUFACTURER		
EFS EXTERIOR INSULATION FINISH SYSTEM	MFT MARBLE FLOOR TILE		
EIP EXISTING IRON PIPE	MIN MINIMUM		
EJ EXPANSION JOINT	MO MASONRY OPENING		
	MTB MARBLE TILE BASE		
	MTD MOUNTED		

SYMBOL LEGEND

DRAWING NO. 1	DRAWING NAME View Name
SHEET NO. A101	SCALE 1/8" = 1'-0"
DETAIL NO. 2	BUILDING SECTION MARK
SHEET NO. A2.03	WALL SECTION MARK
DETAIL NO. 2	CALLOUT DETAIL
SHEET NO. A2.03	EXTERIOR ELEVATION MARK
DETAIL NO. 2	INTERIOR ELEVATION MARK
SHEET NO. A2.03	CONTROL / ELEVATION MARK
ELEVATION VALUE 15'-4"	DOOR MARK
REFERENCE DESCRIPTION	WINDOW MARK
	CASEWORK MARK
	WALL MARK
	ACCESSORIES MARK
	DEMO MARK
	REVISION AREA / NUMBER
ROOM NAME Room name 101A	ROOM MARK
ROOM NO. 101A	CARD READER

SHEET NAMING LEGEND

SECTION	DISCIPLINE	PAGE NUMBER
0 GENERAL	G COVER	A1.01
1 PLANS	G CODE SUMMARY	
2 EXTERIOR ELEVATIONS	G LIFE SAFETY	
3 BUILDING / WALL SECTIONS	CE CIVIL	
4 VERTICAL CIRCULATION	L LANDSCAPE	
5 DETAILS	S STRUCTURAL	
6 WINDOW & DOOR SCHEDULES	D DEMOLITION	
7 INTERIOR ELEV / CASEWORK	A ARCHITECTURAL	
	Q EQUIPMENT	
	FP FIRE PROTECTION	
	P PLUMBING	
	M MECHANICAL	
	E ELECTRICAL	
	FA FIRE ALARM	
	X MISCELLANEOUS	

APPLICABLE TO ARCHITECTURAL SHEETS ONLY

CONSULTANTS

PLUMBING, MECHANICAL & ELECTRICAL ENGINEER:

1151 SE CARY PARKWAY, SUITE 200
CARY, NC 27518

PHONE: 919-851-8481

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E1.1	ELECTRICAL PLANS

PROJECT WORK HOURS

ALL INTERIOR WORK TO BE PERFORMED AFTERHOURS.
INTERIOR WORK HOURS ARE AS FOLLOWS:
MONDAY THROUGH FRIDAY - 5:30 PM TO 8:00 AM
SATURDAY HOURS WILL NEED TO BE COORDINATED WITH THE OWNER.
ALL EXTERIOR WORK TO BE PERFORMED DURING BUSINESS HOURS

OWNER WILL PROVIDE TEMPORARY TOILET FACILITIES DURING THE INTERIOR CONSTRUCTION PHASE.

ALTERNATES

ALTERNATE G-1 - EXTERIOR CAULKING
THE CONTRACTOR SHALL STIPULATE A SUM TO BE ADDED/Deducted FROM THE BASE BID FOR THE REMOVAL AND REPLACEMENT OF CAULKING ON ALL EXISTING EXTERIOR STOREFRONT. SEE DEMOLITION PLANS AND RENOVATION PLANS.

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2018 APPENDIX B BUILDING CODE SUMMARY

Name of Project: CITY OF ROCKY MOUNT BUSINESS CENTER
 Address: 224 SOUTH FRANKLIN STREET, ROCKY MOUNT, NORTH CAROLINA Zip Code 27804
 Owner/Authorized Agent: MICHAEL BAUGHN
 Phone # 252-972-1202 E-Mail MICHAEL.BAUGHN@ROCKYMOUNTNC.GOV
 Owned By: City/County Private State
 Code Enforcement Jurisdiction: City ROCKY MOUNT County State

CONTACT: TIMOTHY D. OAKLEY, ARCHITECT
 DESIGNER FIRM NAME LICENSE# TELEPHONE# E-MAIL
 Architectural OAKLEY COLLIER ARCHITECTS TIM OAKLEY 5967 252.937.2500 TOAKLEY@OAKLEYCOLLIER.COM
 Civil
 Electrical ENGINEERED DESIGNS INC. BRADLEY WYNNIE 35026 919-851-8481 BWYNNIE@ENGINEEREDDESIGNS.COM
 Fire Alarm
 Plumbing ENGINEERED DESIGNS INC. GINGER SCOGGINS 17352 919-851-8481 GSCOGGINS@ENGINEEREDDESIGNS.COM
 Mechanical ENGINEERED DESIGNS INC. CHRISTOPHER NOVAK II 49353 919-851-8481 CNOVAK@ENGINEEREDDESIGNS.COM
 Sprinkler-Standpipe
 Structural
 Retaining Walls >5' High
 Other
 ("Other" should include firms and individuals such as truss, precast, pre-engineered, interior designers, etc.)

2018 NC BUILDING CODE: New Building Addition Renovation
 1st Time Interior Completion
 Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements
 Phased Construction - Shell/Core - Contact the local inspection jurisdiction for possible additional procedures and requirements

2018 NC EXISTING BUILDING CODE: Existing Prescriptive Repair Chapter 14
 Alteration Level I Level II Level III Change of Use
 Historic Property

CONSTRUCTED: (date) N/A CURRENT OCCUPANCY(S) (Ch.3): B
 RENOVATED: (date) N/A PROPOSED OCCUPANCY(S) (Ch.3): B

Risk Category (Table 1604.5): Current: I II III IV
 Proposed: I II III IV

BASIC BUILDING DATA
 Construction Type: I-A II-A III-A IV V-A
 I-B II-B III-B V-B
 Sprinklers: No Partial Yes NFPA 13 NFPA 13R NFPA 13D
 Standpipes: No Yes Class I II III Wet Dry
 Fire District: No Yes Flood Hazard Area: No Yes
 Special Inspections Required: No Yes (Contact the local inspection jurisdiction for additional procedures and requirements.)

FLOOR	EXISTING (SQ FT)	ADDITION (SQ FT)	SUB-TOTAL
6th Floor	N/A	N/A	N/A
5th Floor	N/A	N/A	N/A
4th Floor	N/A	N/A	N/A
3rd Floor	N/A	N/A	N/A
2nd Floor	8,866	N/A	8,866
1st Floor	10,290	N/A	10,290
Basement	N/A	N/A	N/A
TOTAL	19,156	N/A	19,156

ALLOWABLE AREA
 Primary Occupancy Classification(s):
 Assembly A-1 A-2 A-3 A-4 A-5
 Business
 Educational
 Factory F-1 Moderate F-2 Low
 Hazardous H-1 Detonate H-2 Deflagrate H-3 Combust H-4 Health H-5 HPM
 Institutional I-1 Condition I-2 I-3 I-4 I-5
 I-6 I-7
 Mercantile
 Residential R-1 R-2 R-3 R-4
 Storage S-1 Moderate S-2 Low High-piled
 Parking Garage Open Enclosed Repair Garage
 Utility and Miscellaneous

Accessory Occupancy Classification(s): S-2
 Incidental Uses (Table 509): N/A
 Special Uses (Chapter 4 - List Code Sections): N/A
 Special Provisions: (Chapter 5 - List Code Sections): N/A
 Mixed Occupancy: No Yes Separation: N/A Hr. Exception: N/A

Non-Separated Use (508.3) - The required type of construction for the building shall be determined by applying the height and area limitations for each of the applicable occupancies to the entire building. The most restrictive type of construction, so determined, shall apply to the entire building.
 Separated Use (508.4) - See below for area calculations for each story, the area of the occupancy shall be such that the sum of the ratios of the actual floor area of each use divided by the allowable floor area for each use shall not exceed 1.

$$\frac{\text{Actual Area of Occupancy A}}{\text{Allowable Area of Occupancy A}} + \frac{\text{Actual Area of Occupancy B}}{\text{Allowable Area of Occupancy B}} \leq 1$$

$$\frac{\dots}{\dots} + \frac{\dots}{\dots} + \dots = \dots \leq 1.00$$

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2 AREA	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
1	EXISTING TO REMAIN	16,450	49,000	N/A	69,000
2	EXISTING TO REMAIN	15,835	49,000	N/A	69,000

1. Frontage area increases from Section 506.3 are computed thus:
 a. Perimeter which fronts a public way or open space having 20 feet minimum width = N/A (F)
 b. Total Building Perimeter = N/A (P).
 c. Ratio (F/P) = N/A (F/P)
 d. W = Minimum width of public way = N/A (W)
 e. Percent of frontage increase $I_f = 100(F/P - 0.25) \times W/30 =$ N/A (%).
 2. Unlimited area applicable under conditions of Section 507.
 3. Maximum Building Area = total number of stories in the building x D (maximum 3 stories) (506.2).
 4. The maximum area of open parking garages must comply with Table 406.5.4.
 5. Frontage increase is based on the un-sprinklered area value in Table 506.2.

ALLOWABLE HEIGHT	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE 1
Building Height (Table 504.3)	75	75	
Building Height (Table 504.4)	6	6	

1. Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.
 2. The maximum height of air traffic towers must comply with Table 412.3.1.
 3. The maximum height of open parking garages must comply with Table 406.5.4.

BUILDING ELEMENT	FIRE PROTECTION REQUIREMENTS		DETAILS AND FOR SHEET#	DESIGN# FOR RATED ASSEMBLY	SHEET# FOR RATED PENETRATION	SHEET# FOR RATED JOINTS
	FIRE SEPARATION DISTANCE (FEET)	REQ'D PROVIDED (W. REDUCTION)				
Structural Frame, including columns, girders, trusses	>30	0	0	N/A	N/A	N/A
Bearing Walls						
Exterior						
North	N/A	N/A	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A	N/A	N/A
West	N/A	N/A	N/A	N/A	N/A	N/A
South	N/A	N/A	N/A	N/A	N/A	N/A
Interior	N/A	N/A	N/A	N/A	N/A	N/A
Nonbearing Walls and Partitions						
Exterior walls						
North	>30	0	0	N/A	N/A	N/A
East	>30	0	0	N/A	N/A	N/A
West	>30	0	0	N/A	N/A	N/A
South	>30	0	0	N/A	N/A	N/A
Interior walls	N/A	0	0	N/A	N/A	N/A
Interior walls in contact with exterior walls	N/A	0	0	N/A	N/A	N/A
Floor/ceiling assemblies						
Including supporting beams and joists	0	0	0	N/A	N/A	N/A
Floor Ceiling Assembly	0	0	0	N/A	N/A	N/A
Columns Supporting Floors	N/A	N/A	N/A	N/A	N/A	N/A
Roof Construction, including supporting beams and joists	0	0	0	N/A	N/A	N/A
Roof Ceiling Assembly	0	0	0	N/A	N/A	N/A
Columns Supporting Roof	0	0	0	N/A	N/A	N/A
Shaft Enclosures - Exit	N/A	N/A	N/A	N/A	N/A	N/A
Shaft Enclosures - Other	N/A	N/A	N/A	N/A	N/A	N/A
Corridor Separation	N/A	N/A	N/A	N/A	N/A	N/A
Occupancy/Fire Barrier Separation	N/A	N/A	N/A	N/A	N/A	N/A
Party/Fire Wall Separation	N/A	N/A	N/A	N/A	N/A	N/A
Smoke Barrier Separation	N/A	N/A	N/A	N/A	N/A	N/A
Smoke Partition	N/A	N/A	N/A	N/A	N/A	N/A
Tenant/Dwelling Unit/Sleeping Unit Separation	N/A	N/A	N/A	N/A	N/A	N/A
Incidental Use Separation	N/A	N/A	N/A	N/A	N/A	N/A

PERCENTAGE OF WALL OPENING CALCULATIONS			
FIRE SEPARATION DISTANCE (FEET) FROM PROPERTY LINES	DEGREE OF OPENINGS PROTECTION	ALLOWABLE AREA (%)	ACTUAL SHOWN ON PLANS (%)
SEPARATION DISTANCE			

LIFE SAFETY SYSTEM REQUIREMENTS
 Emergency Lighting: No Yes
 Exit Signs: No Yes
 Fire Alarm: No Yes
 Smoke Detection Systems: No Yes Partial
 Carbon Monoxide Detection: No Yes

LIFE SAFETY PLAN REQUIREMENTS
 Life Safety Plan Sheet #: G1.1
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.8)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9)
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL UNITS	ACCESSIBLE UNITS REQUIRED	ACCESSIBLE UNITS PROVIDED	TYPE A UNITS REQUIRED	TYPE A UNITS PROVIDED	TYPE B UNITS REQUIRED	TYPE B UNITS PROVIDED	TOTAL ACCESSIBLE UNITS PROVIDED
N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A

ACCESSIBLE PARKING (SECTION 1109)						
LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	TOTAL # OF PARKING SPACES PROVIDED	# OF ACCESSIBLE SPACES PROVIDED		TOTAL # ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE SPACES REQUIRED
			REGULAR WITH ACCESSIBLE	VAN SPACES WITH ACCESSIBLE		
TOTAL						

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)											
USE	SPACE	WATER CLOSETS		URINALS		LAVATORIES		SHOWERS		DRINKING FOUNTAINS	
		MALE	FEMALE	MALE	FEMALE	UNISEX	UNISEX	REGULAR	ACCESSIBLE	REGULAR	ACCESSIBLE
EXISTG	2	3	1	2	2	3	1	N/A	2	2	1
NEW	2	3	1	0	2	3	1	N/A	2	2	2
REQ'D	3	3	N/A	N/A	3	3	N/A	N/A	N/A	2	2

SPECIAL APPROVALS
 Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHS, etc., describe below)

ENERGY REQUIREMENTS:
 The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.
 Existing building envelope complies with code: No Yes (The remainder of this section is not applicable)
 Exempt building envelope: No Yes (Provide code or statutory reference)
 Climate Zone: 3A 4A 5A
 Method of Compliance: Energy Code Performance Prescriptive
 ASHRAE 90.1 Performance Prescriptive
 (If "Other" specify here)

THERMAL ENVELOPE (Prescriptive method only)
 Roof/Ceiling Assembly (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: N/A
 R-Value of insulation: N/A
 Skylights in each assembly:
 U-Value of skylight: N/A
 Total square footage of skylights in each assembly: N/A
 Exterior Walls (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: N/A
 R-Value of insulation: N/A
 Openings (windows or doors with glazing)
 U-Value of assembly: N/A
 Solar heat gain coefficient: N/A
 Projection factor: N/A
 Door R-Values: N/A
 Walls below grade (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: N/A
 R-Value of total assembly: N/A
 Floors over unconditioned space (each assembly)
 Description of assembly: N/A
 U-Value of total assembly: N/A
 R-Value of total assembly: N/A
 Floors slab on grade
 Description of assembly: N/A
 U-Value of total assembly: N/A
 R-Value of insulation: N/A
 Horizontal/vertical requirement: N/A
 Slab heated: N/A

STRUCTURAL DESIGN
 DESIGN LOADS:
 Importance Factors: Snow (I_s) N/A
 Seismic (I_e) N/A
 Live Loads: Roof N/A psf
 Mezzanine N/A psf
 Floor N/A psf
 Ground Snow Load: N/A psf
 Wind Load: Ultimate Wind Speed N/A mph (ASCE-7)
 Exposure Category N/A

SEISMIC DESIGN CATEGORY: B
 Provide the following seismic design parameters:
 Risk Category (Table 1604.5) I II III IV
 Spectral Response Acceleration S_s N/A %g S₁ N/A %g
 Site Classification (ASCE 7) A B C D E F
 Data Source: Field Test Presumptive Historical Data
 Basic structural system Bearing Wall Dual w/Special Moment Frame
 Building Frame Dual w/Intermediate R/C or Special Steel
 Moment Frame Inverted Pendulum
 Analysis Procedure: Simplified Equivalent Lateral Force Dynamic
 Architectural, Mechanical, Components anchored? Yes No
 LATERAL DESIGN CONTROL: Earthquake Wind
 SOIL BEARING CAPACITIES:
 Field Test (provide copy of test report) N/A psf
 Presumptive Bearing capacity N/A psf
 Pile size, type, and capacity N/A

MECHANICAL DESIGN
 MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT
 Thermal Zone
 winter dry bulb: _____
 summer dry bulb: _____
 Interior design conditions
 winter dry bulb: _____
 summer dry bulb: _____
 Heating/cooling load
 Heating/cooling load: _____
 Mechanical Spacing Conditioning System
 Unitary
 description of unit: _____
 heating efficiency: _____
 cooling efficiency: _____
 size category of unit: _____
 Boiler
 Size category, if oversized, state reason: _____
 Chiller
 Size category, if oversized, state reason: _____
 List equipment efficiencies: _____

ELECTRICAL DESIGN ***SEE SHEET E0.1**
 ELECTRICAL SYSTEM AND EQUIPMENT
 Method of Compliance: Energy Code: Prescriptive Performance
 ASHRAE 90.1: Prescriptive Performance

Lighting schedule (each fixture type)
 lamp type required in fixture _____
 number of lamps in fixture _____
 ballast type used in the fixture _____
 number of ballasts in fixture _____
 total wattage per fixture _____
 total interior wattage specified vs. allowed (whole building or space by space) _____
 total exterior wattage specified vs. allowed _____
 Additional Efficiency Package Options
 (When using the 2018 NCECC; not required for ASHRAE 90.1)
 C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outdoor Air System
 C406.7 Reduced Energy Use in Service Water Heating

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TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
 224 SOUTH FRANKLIN STREET
 ROCKY MOUNT NORTH CAROLINA 27804



BID SET
 BID SET
 BID SET

GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.	
Revisions	Description Date
Date	Project No.
05/03/22	21049
Drawn By	Sheet No.
ABG	G0.2
Checked By	
TDO	
Sheet Title	
BUILDING CODE SUMMARY	

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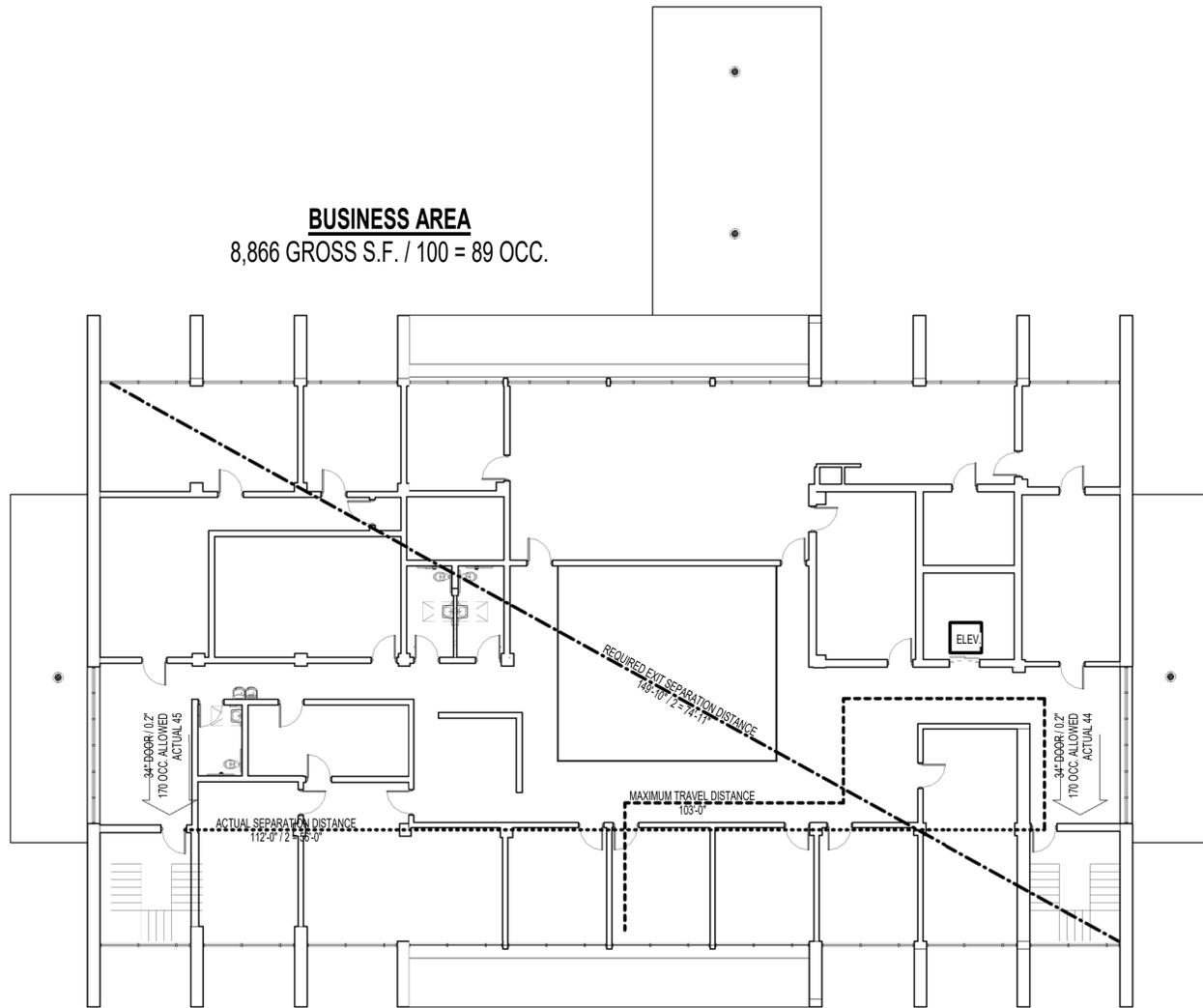
GENERAL NOTE:
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Revisions	#	Description	Date

Date	Project No.
05/03/22	21049
Drawn By	Sheet No.
ABG	G1.1
Checked By	
TDO	

Sheet Title
LIFE SAFETY PLANS

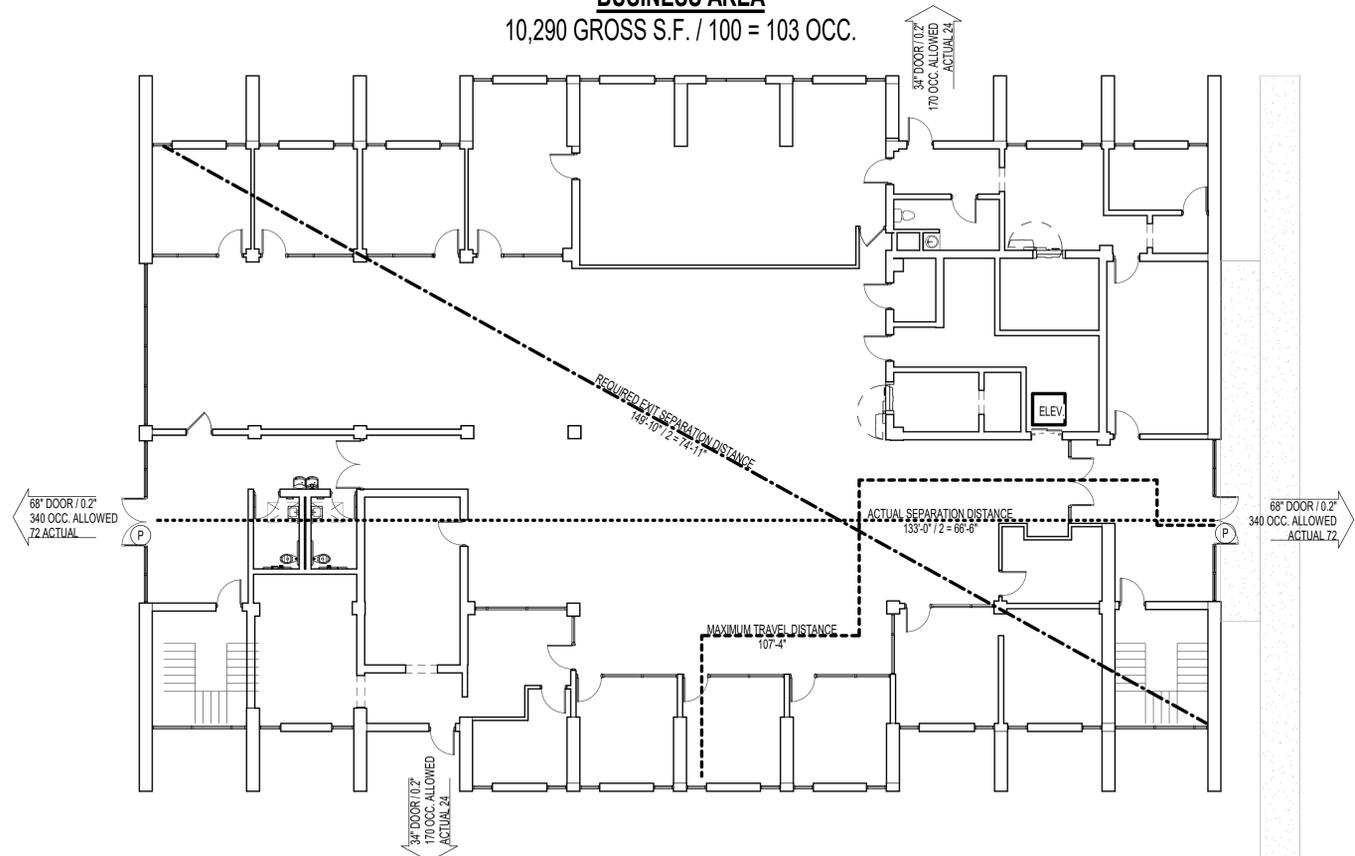
BUSINESS AREA
 8,866 GROSS S.F. / 100 = 89 OCC.



LIFE SAFETY PLAN - SECOND FLOOR

3/32" = 1'-0"

BUSINESS AREA
 10,290 GROSS S.F. / 100 = 103 OCC.



LIFE SAFETY PLAN - FIRST FLOOR

3/32" = 1'-0"

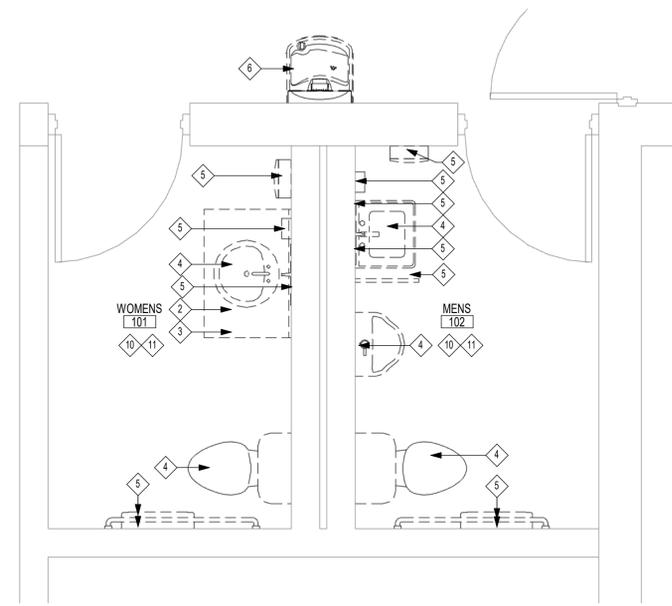
EGRESS DESIGN OCCUPANT LOAD		
SPACE	SF / AREA PER OCCUPANT (PER TABLE 1004.1.2)	LOAD
BUSINESS - 1ST FLOOR	10,290 SF / 100 GROSS	103
BUSINESS - 2ND FLOOR	8,866 SF / 100 GROSS	89
TOTAL	19,156 SF GROSS	192

LIFE SAFETY LEGEND	
←	CLEAR DOOR WIDTH
XX" DOOR / 0.2"	EGRESS CAPACITY FACTOR
XXX OCC. ALLOWED	EGRESS CAPACITY ALLOWED
---	EXIT SEPARATION DISTANCE - REQUIRED
.....	EXIT SEPARATION DISTANCE - PROVIDED
---	MAXIMUM TRAVEL DISTANCE
(P)	PANIC HARDWARE

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DEMOLITION NOTES

- A. FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO SUBMITTING A BID AND START OF ANY WORK. DISCREPANCIES IN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER BEFORE SUBMITTING BID AND/OR CONTINUING WITH WORK.
- B. FIELD VERIFY THE LOCATION OF ALL UTILITIES, INCLUDING BURIAL DEPTH, PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
- C. VERIFY WITH THE OWNER PRIOR TO THE START OF WORK THE EXTENT OF DEMOLITION ITEMS TO BE SALVAGED.
- D. ITEMS NOT BEING SALVAGED SHALL BE TRANSPORTED AND DISPOSED OF IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES.
- E. ADDITIONAL DEMOLITION WORK ASSOCIATED WITH PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS REQUIRED. COORDINATE WORK REQUIRED WITH ALL TRADES.
- F. ALL DEMOLITION PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES.
- G. ALL DEMOLITION WORK SHALL BE COORDINATED AND BE PERFORMED IN ACCORDANCE WITH OWNER.
- H. REMOVE, REPLACE AND/OR REINSTALL ALL EXISTING WALL MOUNTED DEVICE COVER PLATES INCLUDING SWITCHES, RECEPTACLES, OUTLETS, PANEL FACES, RECESSED CABINET FACES, ETC., AS REQUIRED FOR RENOVATION WORK AND PROPER INSTALLATION OF NEW FINISHES. FINISHING/PAINTING AROUND EXISTING NOTED ITEMS WILL NOT BE ACCEPTED.
- I. SEE SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- J. CLEAN AND PREPARE ALL EXISTING SURFACES/SUBSTRATES TO REMAIN AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- K. CLEAN AND PREPARE EXISTING SUBSTRATE IN ALL AREAS RECEIVING NEW FLOOR FINISHES AS REQUIRED BY RENOVATION WORK AND FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- L. PERFORM DEMOLITION WORK IN A MANNER SO AS TO MINIMIZE DAMAGE TO EXISTING SURROUNDING ITEMS TO REMAIN.
- M. PATCH ALL EXISTING FLOORS, WALLS, AND CEILINGS AS REQUIRED FOR DEMOLITION AND RENOVATION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
- N. PATCH ALL EXISTING TO REMAIN FLOORS, WALLS, AND CEILINGS THAT ARE DAMAGED DURING THE COURSE OF DEMOLITION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION WORK.
- O. FURNISH AND INSTALL FLOOR LEVELING COMPOUND AS NECESSARY TO ACHIEVE A SMOOTH AND MONOLITHIC APPEARANCE FOR PROPER INSTALLATION OF NEW FINISHES.
- P. CUT AND PATCH EXISTING WALLS AS NECESSARY FOR RENOVATION AND DEMOLITION WORK. WALLS SHALL BE PATCHED TO MATCH ADJACENT EXISTING SURFACES AND PROVIDE A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING.
- Q. IT IS THE INTENT OF THESE DOCUMENTS THAT "PATCH" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE REPAIRED IN A MANNER, WITH SAME OR SIMILAR MATERIALS, PROVIDING A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING MATERIALS AND THE PATCH SHALL BE PREPARED TO RECEIVE NEW FINISHES PER FINISH MANUFACTURERS RECOMMENDATIONS.
- R. IT IS THE INTENT OF THESE DOCUMENTS THAT "PREPARED" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE MADE READY TO RECEIVE NEW FINISHES IN ACCORDANCE WITH FINISH MANUFACTURERS RECOMMENDATIONS.
- S. REMOVE ALL POPCORN CEILINGS FROM ALL AREAS WITHIN LIMITS OF WORK. REMOVE AND REINSTALL ALL CEILING MOUNTED DEVICES AND FIXTURES INCLUDING LIGHTS, DIFFUSERS AND GRILLES TO COMPLETELY REMOVE EXISTING POPCORN FINISH. SEE PME FOR ADDITIONAL INFORMATION.
- T. REMOVE ALL WINDOW TREATMENTS FROM ALL WINDOWS WITHIN LIMITS OF WORK AREA. PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.
- U. REMOVE ALL DECORATIVE DOOR TRIM ELEMENTS FROM ALL DOORS WITHIN THE LIMITS OF THE WORK AREA AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.
- V. REMOVE ALL MISCELLANEOUS OFFICE TYPE WALL MOUNTED ITEMS FROM THE REHAB SIDE WITHIN THE LIMITS OF THE WORK AREA AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.



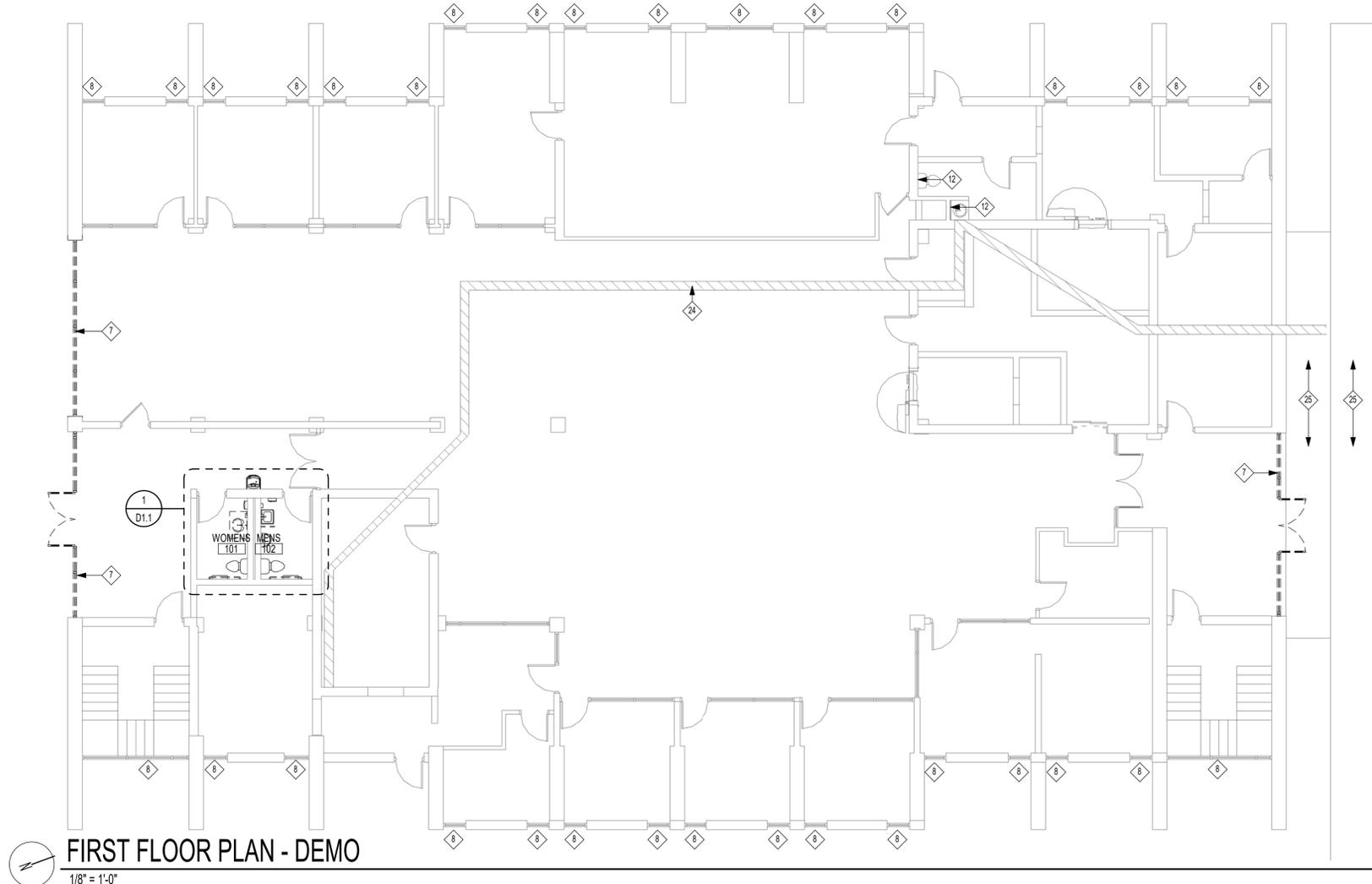
FIRST FLOOR PLAN DEMO - RESTROOMS
1/2" = 1'-0"

DEMO LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- DEMOLITION KEYNOTE
- EXISTING WATERLINE LOCATIONS

DEMOLITION KEYNOTES

1. CUT AND REMOVE PORTION OF EXISTING MASONRY WALL AND ALL RELATED ITEMS COMPLETELY. COORDINATE WITH RENOVATION WORK.
2. REMOVE EXISTING BUILT-IN CASEWORK AND ALL RELATED ITEMS COMPLETELY INCLUDING ALL PME ITEMS. SEE PME FOR ADDITIONAL WORK.
3. REMOVE EXISTING COUNTERTOPS. SEE PME FOR ADDITIONAL WORK REQUIRED.
4. REMOVE EXISTING PLUMBING FIXTURE AND ALL RELATED ITEMS COMPLETELY. SEE PME FOR ADDITIONAL WORK REQUIRED.
5. REMOVE ALL EXISTING TOILET ACCESSORIES AND ALL RELATED ITEMS COMPLETELY. SEE TOILET ACCESSORIES SCHEDULE FOR NEW ACCESSORIES.
6. REMOVE EXISTING EWC COMPLETELY. COORDINATE WITH PME. PATCH/REPAIR EXISTING WALL. SURFACE TO RECEIVE NEW FINISHES.
7. REMOVE EXISTING STOREFRONT SYSTEM. REFER TO RENOVATION PLANS FOR MORE INFORMATION ON NEW STOREFRONT SYSTEM. SEE DETAIL 3/A8.1 FOR EXISTING STOREFRONT. REMOVE AND SALVAGE THE EXISTING RAILING ATTACHED.
8. REMOVE CAULKING FOR EXISTING STOREFRONT SYSTEM COMPLETELY. SEE RENOVATION PLAN. SEE ALTERNATES.
9. REMOVE EXISTING ROOFING AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING METAL ROOF DECK. CLEAN, REPAIR AND PREPARE EXISTING DECK AS NECESSARY TO RECEIVE NEW MATERIALS. TYPICAL ALL LOCATIONS. SEE DETAILS 1/A8.1 AND 2/A8.1 FOR EXISTING ROOF CONDITIONS.
10. REMOVE EXISTING TILE FLOORING COMPLETELY. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
11. REMOVE EXISTING WALL TILE AND WALL SHEATHING COMPLETELY BACK TO STUDS. PROVIDE NEW SHEATHING/BACKER BOARD FOR NEW TILE INSTALLATION AND NEW SOUND BATT INSULATION IN EXISTING WALLS. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
12. REMOVE PORTION OF EXISTING WALL FOR PLUMBING LINE REPLACEMENT AND ACCESS TO PIPING AND WATER HEATER. PATCH/REPAIR EXISTING WALL AFTER PLUMBING LINE REPLACEMENT. FINISHES TO MATCH EXISTING. SEE PME FOR ADDITIONAL INFORMATION.
13. CUT AND REMOVE PORTION OF EXISTING GYPSUM CEILING AND ALL RELATED ITEMS COMPLETELY AS REQUIRED FOR INSTALLATION OF NEW PLUMBING. SEE PME PLANS FOR ADDITIONAL WORK REQUIRED.
14. REMOVE EXISTING FASCIAS, ORIGINAL AND RE-ROOF, AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING SUPPORT/SUBSTRATE. PATCH AND REPAIR EXISTING SUPPORT/SUBSTRATE AS NECESSARY. TYPICAL ALL LOCATIONS.
15. EXISTING PIPE PENETRATION TO REMAIN. VERIFY SIZE AND HEIGHT ABOVE ROOF DECK IN FIELD. REMOVE EXISTING BOOT AND ALL RELATED ITEMS COMPLETELY.
16. EXISTING ROOF DRAIN TO REMAIN. REMOVE AND REINSTALL COMPONENTS AS NECESSARY. VERIFY CONDITION OF DRAIN AND CONNECTION IN FIELD AND NOTIFY ARCHITECT OF ADVERSE CONDITIONS. CLEAN FOREIGN MATERIALS FROM DRAINS PRIOR TO COMPLETION OF WORK. REPLACE DAMAGED COMPONENTS.
17. EXISTING ROOF FAN TO REMAIN. REMOVE AND REINSTALL AS NECESSARY. COORDINATE REMOVAL WITH OWNER.
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19. EXISTING ROOF CAP TO REMAIN. REMOVE AND REINSTALL AS NECESSARY.
20. EXISTING FLUE TO REMAIN. REMOVE AND REINSTALL AS NECESSARY. COORDINATE REMOVAL WITH OWNER.
21. EXISTING HELICOPTER PAD AND PATHWAY TO REMAIN.
22. REMOVE POPCORN TEXTURE FROM EXISTING GYPSUM BOARD CEILINGS COMPLETELY. CLEAN, AND PREP CEILINGS FOR NEW FINISHES. SEE REFLECTED CEILING PLANS FOR MORE INFORMATION.
23. CUT EXISTING GYPSUM BOARD CEILING TO ACCESS EXISTING PLUMBING ABOVE CEILING. SEE REFLECTED CEILING PLANS FOR REPAIR. SEE PME FOR ADDITIONAL INFORMATION.
24. REPLACE ALL EXISTING WATERLINES. WATERLINES TO ONLY BE ACCESSED IN CEILING CAVITY BY REMOVING LIGHT FIXTURES OR BY PUSHING UP EXISTING CEILING TILE IN CERTAIN AREAS. SEE PME FOR MORE INFORMATION.
25. REMOVE EXISTING CONCRETE SIDEWALK FOR INSTALLATION OF NEW WATERLINE. APPROXIMATE LOCATION OF EXISTING WATERLINE SHOWN ON PLAN. NEW LOCATION OF WATERLINE SHOWN ON RENOVATION PLAN. CONTRACTOR TO VERIFY EXISTING WATERLINE LOCATION BEFORE DEMOLITION. SEE PME FOR MORE INFORMATION.
26. REMOVE PORTION OF EXISTING CEILING TO INSTALL NEW WATERLINE. PATCH AND REPAIR EXISTING CEILING FOR A SMOOTH TRANSITION OF EXISTING FINISHES. PAINT CEILING TO MATCH EXISTING.



FIRST FLOOR PLAN - DEMO
1/8" = 1'-0"



BID SET



BID SET

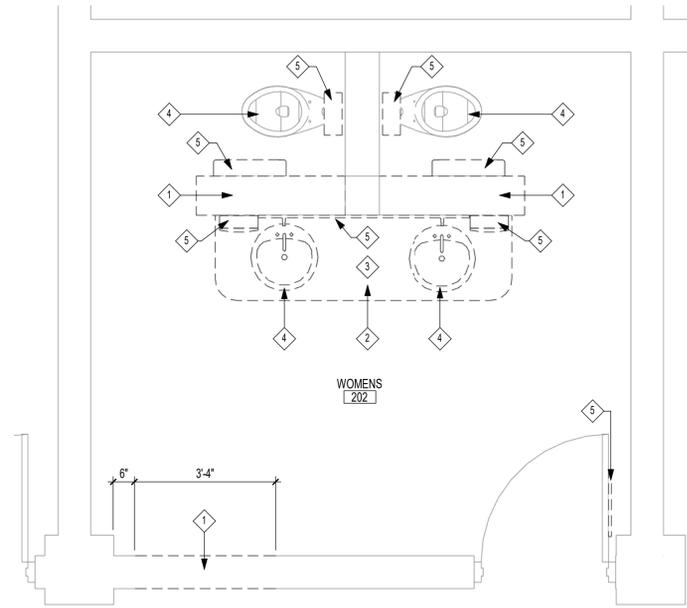
GENERAL NOTE:
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Revisions	Description	Date

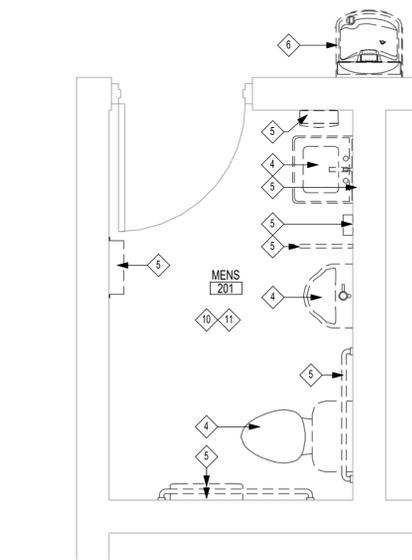
Date	Project No.
05/03/22	21049
Drawn By	Sheet No.
ABG	D1.1
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Sheet Title	
DEMOLITION PLAN - FIRST FLOOR	

EXISTING ASPHALT PAVING TO REMAIN

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1 DEMO - WOMENS RESTROOM
1/2" = 1'-0"



2 DEMO - MENS RESTROOM
1/2" = 1'-0"

DEMOLITION NOTES

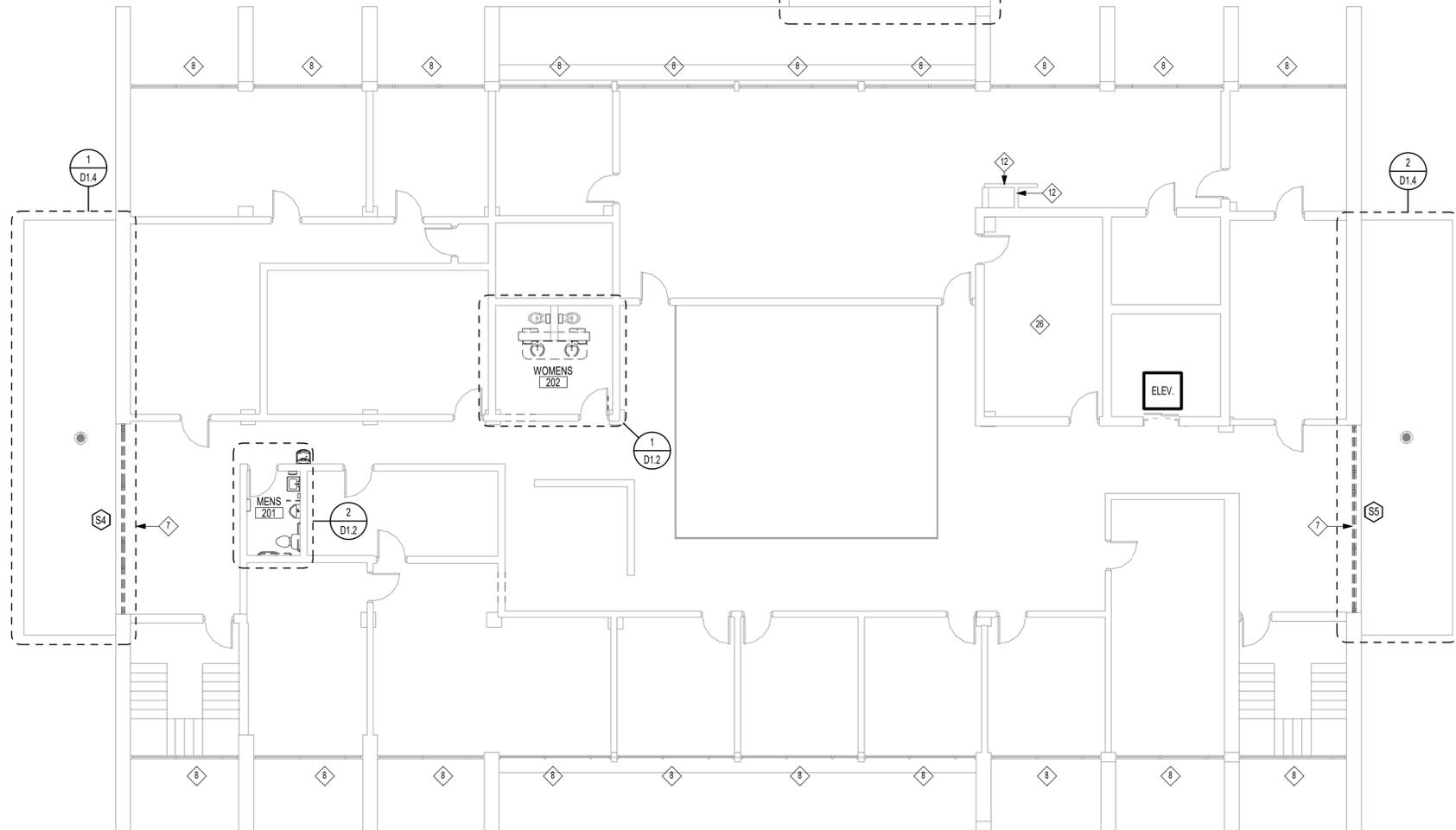
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- V. REMOVE ALL MISCELLANEOUS OFFICE TYPE WALL MOUNTED ITEMS FROM THE REHAB SIDE WITHIN THE LIMITS OF THE WORK AREA AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.

DEMO LEGEND

- EXISTING CONSTRUCTION TO BE REMOVED
- DEMOLITION KEYNOTE
- EXISTING WATERLINE LOCATIONS

DEMOLITION KEYNOTES

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9. REMOVE EXISTING ROOFING AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING METAL ROOF DECK. CLEAN, REPAIR AND PREPARE EXISTING DECK AS NECESSARY TO RECEIVE NEW MATERIALS. TYPICAL ALL LOCATIONS. SEE DETAILS 1/A8.1 AND 2/A8.1 FOR EXISTING ROOF CONDITIONS.
10. REMOVE EXISTING TILE FLOORING COMPLETELY. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
11. REMOVE EXISTING WALL TILE AND WALL SHEATHING COMPLETELY BACK TO STUDS. PROVIDE NEW SHEATHING/BACKER BOARD FOR NEW TILE INSTALLATION AND NEW SOUND BATT INSULATION IN EXISTING WALLS. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
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26. REMOVE PORTION OF EXISTING CEILING TO INSTALL NEW WATERLINE. PATCH AND REPAIR EXISTING CEILING FOR A SMOOTH TRANSITION OF EXISTING FINISHES. PAINT CEILING TO MATCH EXISTING.



SECOND FLOOR PLAN - DEMO
1/8" = 1'-0"

OAKLEY COLLIER ARCHITECTS
OCA ARCHITECTS
109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500
1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



BID SET



BID SET

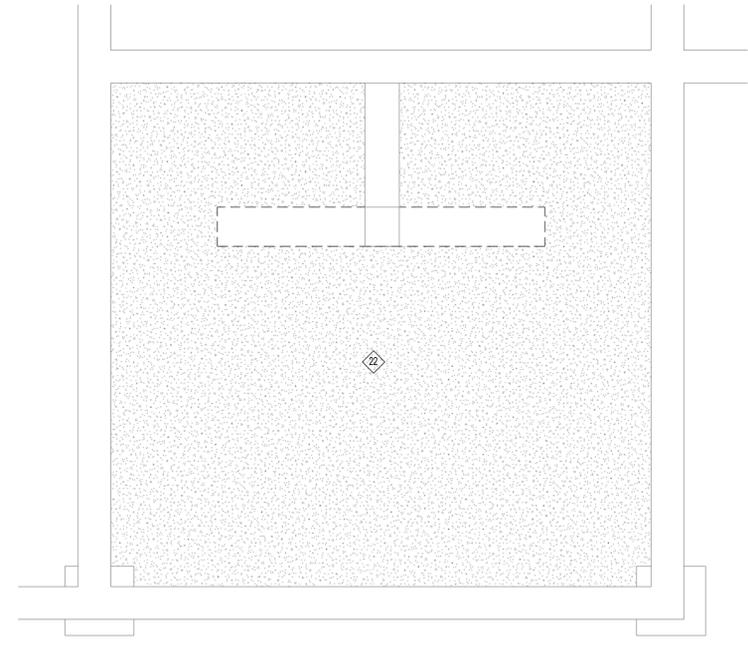
GENERAL NOTE:
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Revisions	#	Description	Date

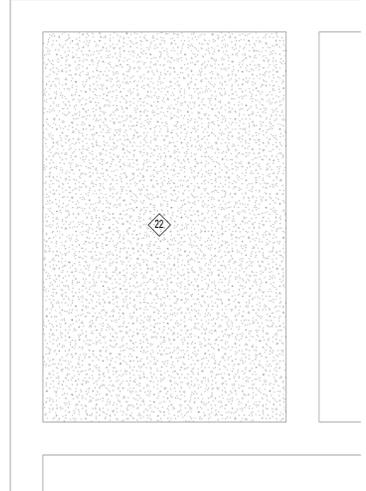
Date	05/03/22	Project No.	21049
Drawn By	ABG	Sheet No.	D1.2
Checked By	TDO		
		Sheet Title	DEMOLITION PLAN - SECOND FLOOR

Revisions	Description	Date

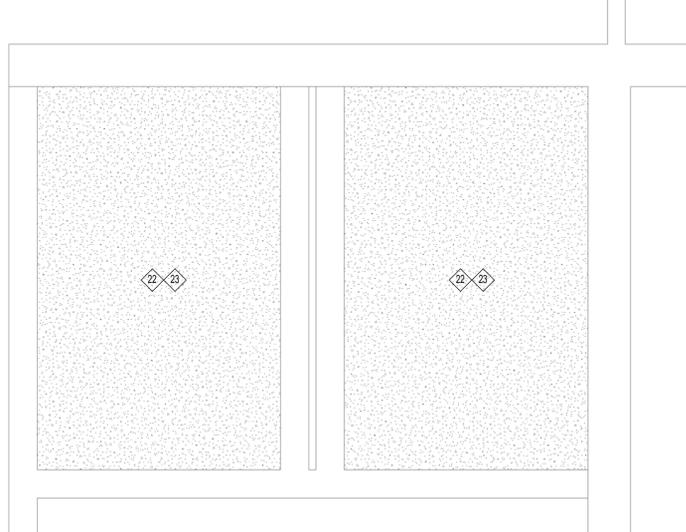
Date	Project No.
05/03/22	21049
Drawn By	Sheet No.
ABG	D1.3
Checked By	
TDO	



3 FIRST FLOOR PLAN - RESTROOMS DEMO RCP
D1.3 1/2" = 1'-0"



2 SECOND FLOOR PLAN - MENS RESTROOM DEMO RCP
D1.3 1/2" = 1'-0"



1 SECOND FLOOR PLAN - RESTROOMS DEMO RCP
D1.3 1/2" = 1'-0"

DEMOLITION KEYNOTES

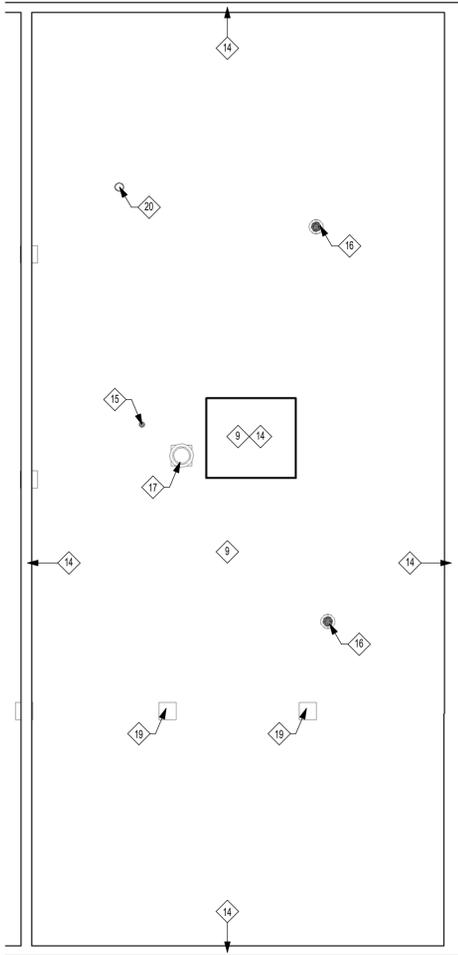
- CUT AND REMOVE PORTION OF EXISTING MASONRY WALL AND ALL RELATED ITEMS COMPLETELY. COORDINATE WITH RENOVATION WORK.
- REMOVE EXISTING BUILT-IN CASEWORK AND ALL RELATED ITEMS COMPLETELY INCLUDING ALL PME ITEMS. SEE PME FOR ADDITIONAL WORK.
- REMOVE EXISTING COUNTERTOPS. SEE PME FOR ADDITIONAL WORK REQUIRED.
- REMOVE EXISTING PLUMBING FIXTURE AND ALL RELATED ITEMS COMPLETELY. SEE PME FOR ADDITIONAL WORK REQUIRED.
- REMOVE ALL EXISTING TOILET ACCESSORIES AND ALL RELATED ITEMS COMPLETELY. SEE TOILET ACCESSORIES SCHEDULE FOR NEW ACCESSORIES.
- REMOVE EXISTING EWC COMPLETELY. COORDINATE WITH PME. PATCH/REPAIR EXISTING WALL. SURFACE TO RECEIVE NEW FINISHES.
- REMOVE EXISTING STOREFRONT SYSTEM. REFER TO RENOVATION PLANS FOR MORE INFORMATION ON NEW STOREFRONT SYSTEM. SEE DETAIL 3/A8.1 FOR EXISTING STOREFRONT. REMOVE AND SALVAGE THE EXISTING RAILING ATTACHED.
- REMOVE CAULKING FOR EXISTING STOREFRONT SYSTEM COMPLETELY. SEE RENOVATION PLAN. SEE ALTERNATES.
- REMOVE EXISTING ROOFING AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING METAL ROOF DECK. CLEAN, REPAIR AND PREPARE EXISTING DECK AS NECESSARY TO RECEIVE NEW MATERIALS. TYPICAL ALL LOCATIONS. SEE DETAILS 1/A8.1 AND 2/A8.1 FOR EXISTING ROOF CONDITIONS.
- REMOVE EXISTING TILE FLOORING COMPLETELY. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
- REMOVE EXISTING WALL TILE AND WALL SHEATHING COMPLETELY BACK TO STUDS. PROVIDE NEW SHEATHING/BACKER BOARD FOR NEW TILE INSTALLATION AND NEW SOUND BATT INSULATION IN EXISTING WALLS. CLEAN AND PREP FOR NEW FINISHES. SEE SCHEDULE. SEE RENOVATION PLAN.
- REMOVE PORTION OF EXISTING WALL FOR PLUMBING LINE REPLACEMENT AND ACCESS TO PIPING AND WATER HEATER. PATCH/REPAIR EXISTING WALL AFTER PLUMBING LINE REPLACEMENT. FINISHES TO MATCH EXISTING. SEE PME FOR ADDITIONAL INFORMATION.
- CUT AND REMOVE PORTION OF EXISTING GYPSUM CEILING AND ALL RELATED ITEMS COMPLETELY AS REQUIRED FOR INSTALLATION OF NEW PLUMBING. SEE PME PLANS FOR ADDITIONAL WORK REQUIRED.
- REMOVE EXISTING FASCIAS, ORIGINAL AND RE-ROOF, AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING SUPPORT/SUBSTRATE. PATCH AND REPAIR EXISTING SUPPORT/SUBSTRATE AS NECESSARY. TYPICAL ALL LOCATIONS.
- EXISTING PIPE PENETRATION TO REMAIN. VERIFY SIZE AND HEIGHT ABOVE ROOF DECK IN FIELD. REMOVE EXISTING BOOT AND ALL RELATED ITEMS COMPLETELY.
- EXISTING ROOF DRAIN TO REMAIN. REMOVE AND REINSTALL COMPONENTS AS NECESSARY. VERIFY CONDITION OF DRAIN AND CONNECTION IN FIELD AND NOTIFY ARCHITECT OF ADVERSE CONDITIONS. CLEAN FOREIGN MATERIALS FROM DRAINS PRIOR TO COMPLETION OF WORK. REPLACE DAMAGED COMPONENTS.
- EXISTING ROOF FAN TO REMAIN. REMOVE AND REINSTALL AS NECESSARY. COORDINATE REMOVAL WITH OWNER.
- EXISTING ROOF TOP UNIT TO REMAIN.
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- EXISTING FLUE TO REMAIN. REMOVE AND REINSTALL AS NECESSARY. COORDINATE REMOVAL WITH OWNER.
- EXISTING HELICOPTER PAD AND PATHWAY TO REMAIN.
- REMOVE POPCORN TEXTURE FROM EXISTING GYPSUM BOARD CEILINGS COMPLETELY. CLEAN, AND PREP CEILINGS FOR NEW FINISHES. SEE REFLECTED CEILING PLANS FOR MORE INFORMATION.
- CUT EXISTING GYPSUM BOARD CEILING TO ACCESS EXISTING PLUMBING ABOVE CEILING. SEE REFLECTED CEILING PLANS FOR REPAIR. SEE PME FOR ADDITIONAL INFORMATION.
- REPLACE ALL EXISTING WATERLINES. WATERLINES TO ONLY BE ACCESSED IN CEILING CAVITY BY REMOVING LIGHT FIXTURES OR BY PUSHING UP EXISTING CEILING TILE IN CERTAIN AREAS. SEE PME FOR MORE INFORMATION.
- REMOVE EXISTING CONCRETE SIDEWALK FOR INSTALLATION OF NEW WATERLINE. APPROXIMATE LOCATION OF EXISTING WATERLINE SHOWN ON PLAN. NEW LOCATION OF WATERLINE SHOWN ON RENOVATION PLAN. CONTRACTOR TO VERIFY EXISTING WATERLINE LOCATION BEFORE DEMOLITION. SEE PME FOR MORE INFORMATION.
- REMOVE PORTION OF EXISTING CEILING TO INSTALL NEW WATERLINE. PATCH AND REPAIR EXISTING CEILING FOR A SMOOTH TRANSITION OF EXISTING FINISHES. PAINT CEILING TO MATCH EXISTING.



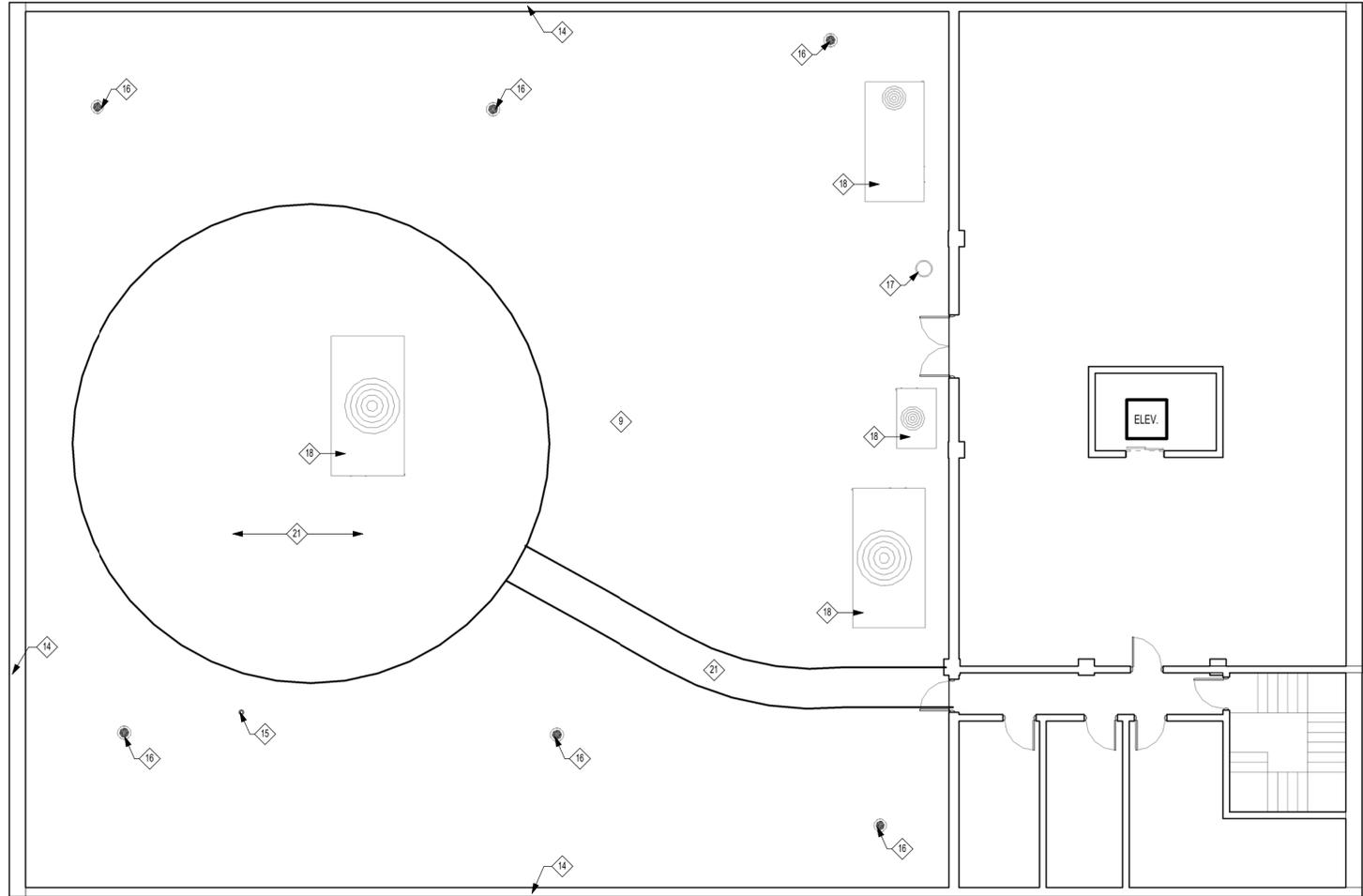
DEMOLITION NOTES

- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO SUBMITTING A BID AND START OF ANY WORK. DISCREPANCIES IN ACTUAL CONDITIONS AND PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE SUBMITTING BID AND/OR CONTINUING WITH WORK.
- FIELD VERIFY THE LOCATION OF ALL UTILITIES, INCLUDING BURIAL DEPTH. PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
- VERIFY WITH THE OWNER PRIOR TO THE START OF WORK THE EXTENT OF DEMOLITION ITEMS TO BE SALVAGED.
- ITEMS NOT BEING SALVAGED SHALL BE TRANSPORTED AND DISPOSED OF IN A LEGAL MANNER IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ADDITIONAL DEMOLITION WORK ASSOCIATED WITH PLUMBING, MECHANICAL, AND ELECTRICAL WORK IS REQUIRED. COORDINATE WORK REQUIRED WITH ALL TRADES.
- ALL DEMOLITION PLUMBING, MECHANICAL, AND ELECTRICAL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL DEMOLITION WORK SHALL BE COORDINATED AND BE PERFORMED IN ACCORDANCE WITH OWNER.
- REMOVE, REPLACE AND/OR REINSTALL ALL EXISTING WALL MOUNTED DEVICE COVER PLATES INCLUDING SWITCHES, RECEPTACLES, OUTLETS, PANEL FACES, RECESSED CABINET FACES, ETC., AS REQUIRED FOR RENOVATION WORK AND PROPER INSTALLATION OF NEW FINISHES. FINISHING/PAINTING AROUND EXISTING NOTED ITEMS WILL NOT BE ACCEPTED.
- SEE SPECIFICATIONS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
- CLEAN AND PREPARE ALL EXISTING SURFACES/SUBSTRATES TO REMAIN AS REQUIRED FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- CLEAN AND PREPARE EXISTING SUBSTRATE IN ALL AREAS RECEIVING NEW FLOOR FINISHES AS REQUIRED BY RENOVATION WORK AND FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS.
- PERFORM DEMOLITION WORK IN A MANNER SO AS TO MINIMIZE DAMAGE TO EXISTING SURROUNDING ITEMS TO REMAIN.
- PATCH ALL EXISTING FLOORS, WALLS, AND CEILINGS AS REQUIRED FOR DEMOLITION AND RENOVATION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
- PATCH ALL EXISTING TO REMAIN FLOORS, WALLS, AND CEILINGS THAT ARE DAMAGED DURING THE COURSE OF DEMOLITION WORK INCLUDING ALL PLUMBING, MECHANICAL, AND ELECTRICAL DEMOLITION WORK.
- FURNISH AND INSTALL FLOOR LEVELING COMPOUND AS NECESSARY TO ACHIEVE A SMOOTH AND MONOLITHIC APPEARANCE FOR PROPER INSTALLATION OF NEW FINISHES.
- CUT AND PATCH EXISTING WALLS AS NECESSARY FOR RENOVATION AND DEMOLITION WORK. WALLS SHALL BE PATCHED TO MATCH ADJACENT EXISTING SURFACES AND PROVIDE A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING.
- IT IS THE INTENT OF THESE DOCUMENTS THAT "PATCH" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE REPAIRED IN A MANNER, WITH SAME OR SIMILAR MATERIALS, PROVIDING A SMOOTH AND SEAMLESS TRANSITION FROM NEW TO EXISTING MATERIALS AND THE PATCH SHALL BE PREPARED TO RECEIVE NEW FINISHES PER FINISH MANUFACTURER'S RECOMMENDATIONS.
- IT IS THE INTENT OF THESE DOCUMENTS THAT "PREPARED" IMPLIES THAT THE EXISTING CONSTRUCTION SHALL BE MADE READY TO RECEIVE NEW FINISHES IN ACCORDANCE WITH FINISH MANUFACTURER'S RECOMMENDATIONS.
- REMOVE ALL POPCORN CEILINGS FROM ALL AREAS WITHIN LIMITS OF WORK. REMOVE AND REINSTALL ALL CEILING MOUNTED DEVICES AND FIXTURES INCLUDING LIGHTS, DIFFUSERS AND GRILLES TO COMPLETELY REMOVE EXISTING POPCORN FINISH. SEE PME FOR ADDITIONAL INFORMATION.
- REMOVE ALL WINDOW TREATMENTS FROM ALL WINDOWS WITHIN LIMITS OF WORK AREA. PATCH AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.
- REMOVE ALL DECORATIVE DOOR TRIM ELEMENTS FROM ALL DOORS WITHIN THE LIMITS OF THE WORK AREA AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.
- REMOVE ALL MISCELLANEOUS OFFICE TYPE WALL MOUNTED ITEMS FROM THE REHAB SIDE WITHIN THE LIMITS OF THE WORK AREA AND REPAIR EXISTING CONSTRUCTION TO REMAIN AS NECESSARY.

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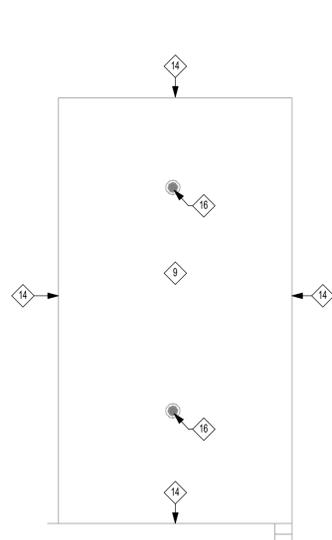


ROOF PLAN - UPPER DEMO
1/8" = 1'-0"

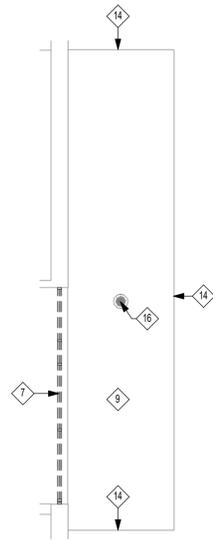


ROOF PLAN - LOWER/MEZZANINE DEMO
1/8" = 1'-0"

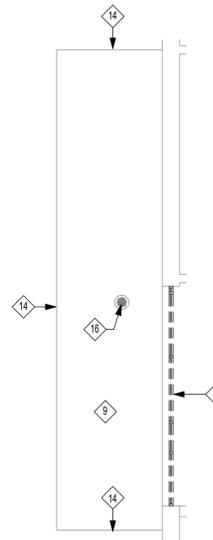
- DEMOLITION KEYNOTES**
- CUT AND REMOVE PORTION OF EXISTING MASONRY WALL AND ALL RELATED ITEMS COMPLETELY. COORDINATE WITH RENOVATION WORK.
 - REMOVE EXISTING BUILT-IN CASEWORK AND ALL RELATED ITEMS COMPLETELY INCLUDING ALL PME ITEMS. SEE PME FOR ADDITIONAL WORK.
 - REMOVE EXISTING COUNTERTOPS. SEE PME FOR ADDITIONAL WORK REQUIRED.
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 - REMOVE EXISTING ROOFING AND ALL RELATED COMPONENTS COMPLETELY BACK TO EXISTING METAL ROOF DECK. CLEAN, REPAIR AND PREPARE EXISTING DECK AS NECESSARY TO RECEIVE NEW MATERIALS. TYPICAL ALL LOCATIONS. SEE DETAILS 1/A8.1 AND 2/A8.1 FOR EXISTING ROOF CONDITIONS.
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 - EXISTING ROOF TOP UNIT TO REMAIN.
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ROOF PLAN - ROOF 3 DEMO
1/8" = 1'-0"



ROOF PLAN - ROOF 2 DEMO
1/8" = 1'-0"



ROOF PLAN - ROOF 1 DEMO
1/8" = 1'-0"



BID SET



BID SET

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all dimensions.

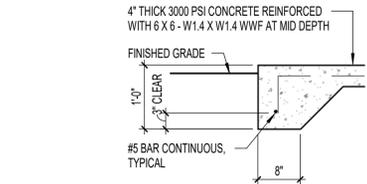
Revisions	Description	Date

Date	Project No.
05/03/22	21049
Drawn By	Sheet No.
ABG	D1.4
Checked By	
TDO	
Sheet Title	
DEMOLITION PLAN - ROOFS	

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LEGEND

 NEW WATERLINE ROUTE LOCATED ABOVE CEILING



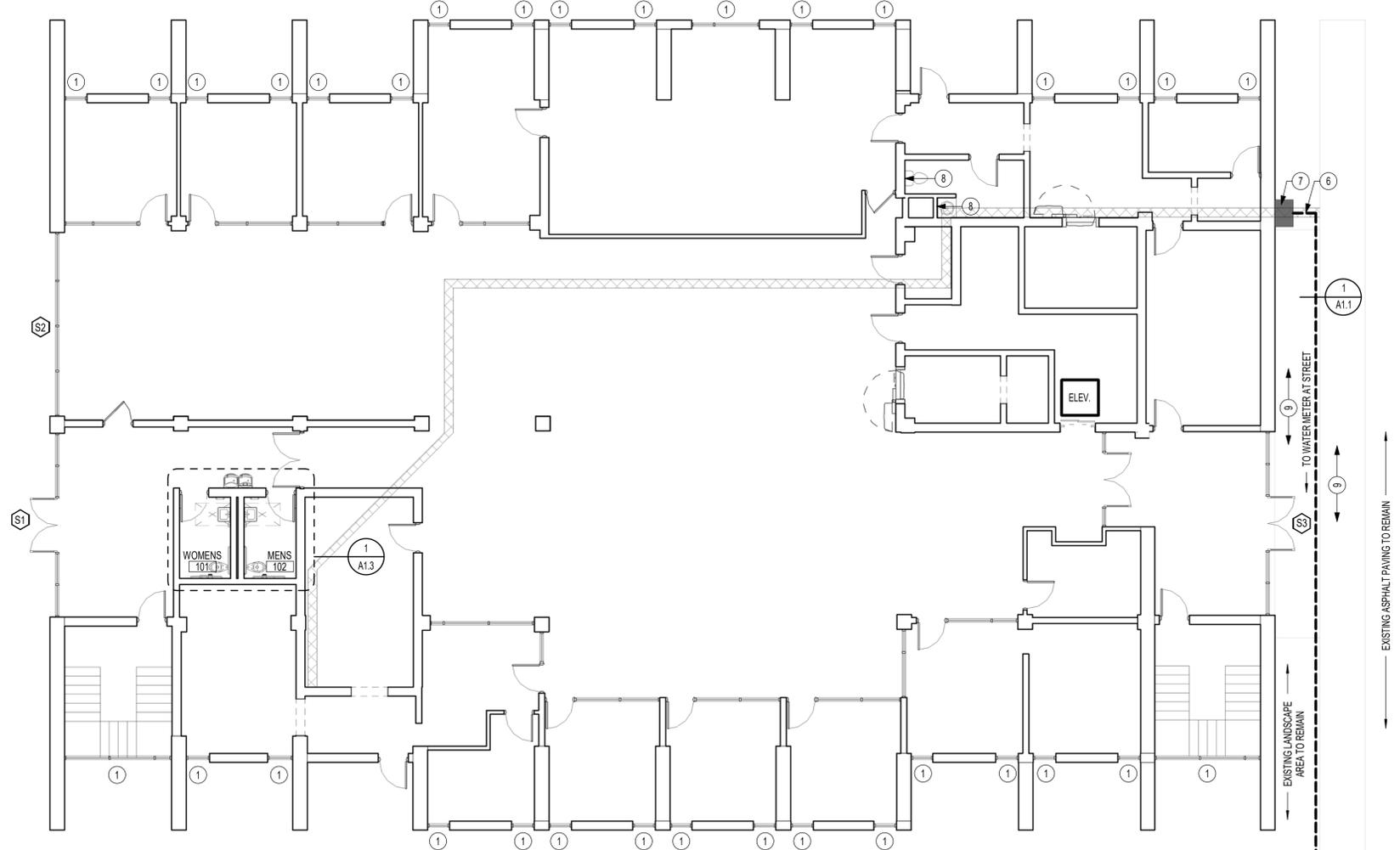
1
A1.1
3/4" = 1'-0"

TYPICAL SIDEWALK REPAIR

- GENERAL NOTES**
- DIMENSIONS THIS PLAN ARE FROM EXTERIOR FACE OF EXISTING WALL TO CENTERLINE OF NEW INTERIOR WALL, CENTERLINE TO CENTERLINE OF NEW INTERIOR WALLS.
 - PROVIDE BRACING BACK TO STRUCTURE FOR INTERIOR WALLS, TYPICAL.
 - ALL DRYWALL SHALL BE 5/8" TYPE "X" AND SHALL EXTEND 4" MINIMUM ABOVE FINISH CEILING (U.N.O.)
 - INSTALL SOUND ATTENUATION BATT INSULATION FULL HEIGHT IN ALL INTERIOR STUD FRAMED WALLS.
 - INSTALL SOUND ATTENUATION BATT INSULATION 4" WIDE AROUND CEILING PERIMETER OF ALL ROOMS WITH SOUND BATT IN WALLS.
 - VERIFY ALL DIMENSIONS AND SIZES PRIOR TO CONSTRUCTION.
 - SCHEDULE AND COORDINATE ALL INSPECTIONS REQUIRED.
 - OBTAIN ALL PERMITS REQUIRED.
 - COORDINATE ALL SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
 - REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL HEADERS.
 - SEE DOOR AND WINDOW SCHEDULES FOR ALL DOOR AND WINDOW SIZES.
 - CONSTRUCT ALL RATED WALLS IN COMPLIANCE WITH REFERENCED UL ASSEMBLY.
 - LINE UP NEW WALL WITH EXISTING WALLS, LINE UP NEW WALL TO EXISTING COLUMN.

- RENOVATION KEYNOTES #**
- RE-CAULK EXISTING EXTERIOR STOREFRONT. COLOR OF CAULK TO MATCH EXISTING. SEE ALTERNATES.
 - CLEAN, PREP, AND REFINISH EXISTING DOOR TO MATCH EXISTING. REPAINT EXISTING HOLLOW METAL FRAMES. COLOR TO MATCH EXISTING.
 - INSTALL NEW TILE FLOOR. SEE SCHEDULE.
 - INSTALL NEW TILE WALL BASE. SEE SCHEDULE.
 - INSTALL NEW WALL TILE. SEE SCHEDULE.
 - INSTALL NEW BACKFLOW VALVE ON EXISTING WATERLINE. VERIFY EXISTING LOCATION OF WATERLINE BEFORE INSTALLATION. SEE PME FOR ADDITIONAL INFORMATION.
 - PROVIDE NEW ABOVE GROUND HOT BOX AND BACKFLOW PREVENTER IN EXISTING LANDSCAPED AREA. INSTALL NEW HOT BOX PER CITY OF ROCKY MOUNT STANDARDS. REMOVE EXISTING LANDSCAPING AS REQUIRED FOR INSTALLATION OF NEW HOT BOX. SEE PME FOR MORE INFORMATION.
 - PATCH AND REPAIR EXISTING WALLS AFTER EXISTING PLUMBING LINE REPLACEMENT. COORDINATE WITH PME. FINISHES TO MATCH EXISTING. MATERIALS TO HAVE A SMOOTH TRANSITION FROM EXISTING TO NEW.
 - INSTALL NEW SIDEWALK DUE TO DEMOLITION AND INSTALLATION OF NEW WATERLINE. SEE DETAIL 1/A1.1 FOR SIDEWALK REPAIR. NEW SIDEWALK TO MATCH PREVIOUS SIDEWALK. SEE PME FOR MORE INFORMATION.
 - INSTALL EXISTING SALVAGED RAILING ON NEW STOREFRONT. SEE STOREFRONT ELEVATIONS FOR MORE INFORMATION.

- GENERAL RENOVATION NOTES**
- FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
 - FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
 - EXISTING FLOORS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED TO PROVIDE A SMOOTH AND MANUFACTURER'S ACCEPTABLE SUBSTRATE FOR THE APPLICATION SHOWN. IRREGULAR SURFACES WILL NOT BE ACCEPTED.
 - UPON COMPLETION OF WORK CLEAN ALL SPACES WHERE DEMOLITION OR CONSTRUCTION HAS BEEN PERFORMED.
 - TAKE NECESSARY MEASURE TO PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE AND REPAIR/REFINISH ALL MATERIALS DAMAGED BY WORK.
 - COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
 - ALL WALLS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED FOR NEW FINISHES PER MANUFACTURER.
 - PATCH/REPAIR ALL EXISTING WALLS AS NECESSARY THAT ARE DAMAGED DURING COURSE OF WORK.
 - NEW FINISHES IMMEDIATELY ADJACENT TO EXISTING FINISHES SHALL MATCH EXISTING AS CLOSE AS POSSIBLE. MATCH EXISTING IMPLIES MATERIAL TYPE, QUALITY, COLOR, PATTERN, TEXTURE, ETC. VERIFY ALL EXISTING FINISHES AT SITE PRIOR TO SUBMITTING BID UNLESS INDICATED DIFFERENTLY BY FINISH SCHEDULE.
 - PROVIDE FLOOR LEVELING COMPOUND IN ALL AREAS OF DEMOLITION AND RENOVATION WORK FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.



FIRST FLOOR PLAN
1/8" = 1'-0"

OAKLEY COLLIER ARCHITECTS
OCA ARCHITECTS
109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500
1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



BID SET



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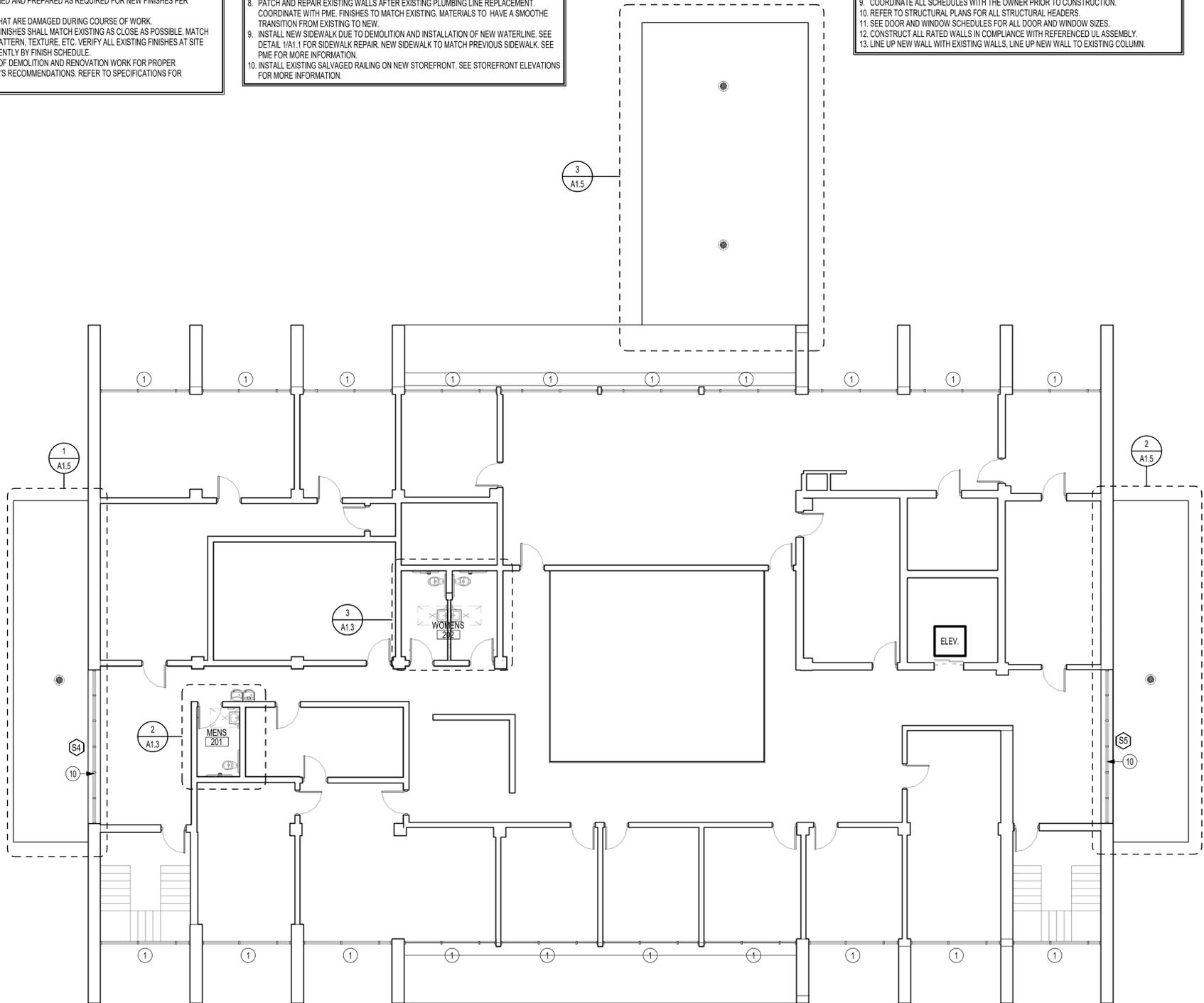
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Revisions	#	Description	Date
Date	05/03/22	Project No.	21049
Drawn By	ABG	Sheet No.	A1.1
Checked By	TDO	Sheet Title	FIRST FLOOR PLAN

- ### GENERAL RENOVATION NOTES
1. FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND FINISHES PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
 2. FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OR ENGINEER FOR EVALUATION BEFORE CONTINUING WITH WORK.
 3. EXISTING FLOORS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED TO PROVIDE A SMOOTH AND MANUFACTURER'S ACCEPTABLE SUBSTRATE FOR THE APPLICATION SHOWN. IRREGULAR SURFACES WILL NOT BE ACCEPTED.
 4. UPON COMPLETION OF WORK CLEAN ALL SPACES WHERE DEMOLITION OR CONSTRUCTION HAS BEEN PERFORMED.
 5. TAKE NECESSARY MEASURE TO PROTECT EXISTING FINISHES TO REMAIN FROM DAMAGE AND REPAIR/REFINISH ALL MATERIALS DAMAGED BY WORK.
 6. COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
 7. ALL WALLS RECEIVING NEW FINISHES SHALL BE CLEANED AND PREPARED AS REQUIRED FOR NEW FINISHES PER MANUFACTURER.
 8. PATCH/REPAIR ALL EXISTING WALLS AS NECESSARY THAT ARE DAMAGED DURING COURSE OF WORK.
 9. NEW FINISHES IMMEDIATELY ADJACENT TO EXISTING FINISHES SHALL MATCH EXISTING AS CLOSE AS POSSIBLE. MATCH EXISTING IMPLIES MATERIAL TYPE, QUALITY, COLOR, PATTERN, TEXTURE, ETC. VERIFY ALL EXISTING FINISHES AT SITE PRIOR TO SUBMITTING BID UNLESS INDICATED DIFFERENTLY BY FINISH SCHEDULE.
 10. PROVIDE FLOOR LEVELING COMPOUND IN ALL AREAS OF DEMOLITION AND RENOVATION WORK FOR PROPER INSTALLATION OF NEW FINISHES PER MANUFACTURER'S RECOMMENDATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

- ### RENOVATION KEYNOTES #
1. RE-CAULK EXISTING EXTERIOR STOREFRONT. COLOR OF CAULK TO MATCH EXISTING. SEE ALTERNATES.
 2. CLEAN, PREP, AND REFINISH EXISTING DOOR TO MATCH EXISTING. REPAINT EXISTING HOLLOW METAL FRAMES. COLOR TO MATCH EXISTING.
 3. INSTALL NEW TILE FLOOR. SEE SCHEDULE.
 4. INSTALL NEW TILE WALL BASE. SEE SCHEDULE.
 5. INSTALL NEW WALL TILE. SEE SCHEDULE.
 6. INSTALL NEW BACKFLOW VALVE ON EXISTING WATERLINE. VERIFY EXISTING LOCATION OF WATERLINE BEFORE INSTALLATION. SEE PME FOR ADDITIONAL INFORMATION.
 7. PROVIDE NEW ABOVE GROUND HOT BOX AND BACKFLOW PREVENTER IN EXISTING LANDSCAPED AREA. INSTALL NEW HOT BOX PER CITY OF ROCKY MOUNT STANDARDS. REMOVE EXISTING LANDSCAPING AS REQUIRED FOR INSTALLATION OF NEW HOT BOX. SEE PME FOR MORE INFORMATION.
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 4. INSTALL SOUND ATTENUATION BATT INSULATION FULL HEIGHT IN ALL INTERIOR STUD FRAMED WALLS.
 5. INSTALL SOUND ATTENUATION BATT INSULATION 4" WIDE AROUND CEILING PERIMETER OF ALL ROOMS WITH SOUND BATT IN WALLS.
 6. VERIFY ALL DIMENSIONS AND SIZES PRIOR TO CONSTRUCTION.
 7. SCHEDULE AND COORDINATE ALL INSPECTIONS REQUIRED.
 8. OBTAIN ALL PERMITS REQUIRED.
 9. COORDINATE ALL SCHEDULES WITH THE OWNER PRIOR TO CONSTRUCTION.
 10. REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL HEADERS.
 11. SEE DOOR AND WINDOW SCHEDULES FOR ALL DOOR AND WINDOW SIZES.
 12. CONSTRUCT ALL RATED WALLS IN COMPLIANCE WITH REFERENCED UL ASSEMBLY.
 13. LINE UP NEW WALL WITH EXISTING WALLS. LINE UP NEW WALL TO EXISTING COLUMN.



SECOND FLOOR PLAN
1/8" = 1'-0"

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TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



BID SET



BID SET

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

Revisions	Description	Date

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SECOND FLOOR PLAN	

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TDO		
	Sheet Title	
	ENLARGED PLANS / DETAILS	

SLAB LEGEND



RENOVATION KEYNOTES

- RE-CAULK EXISTING EXTERIOR STOREFRONT. COLOR OF CAULK TO MATCH EXISTING. SEE ALTERNATES.
- CLEAN, PREP, AND REFINISH EXISTING DOOR TO MATCH EXISTING. REPAINT EXISTING HOLLOW METAL FRAMES. COLOR TO MATCH EXISTING.
- INSTALL NEW TILE FLOOR. SEE SCHEDULE.
- INSTALL NEW TILE WALL BASE. SEE SCHEDULE.
- INSTALL NEW WALL TILE. SEE SCHEDULE.
- INSTALL NEW BACKFLOW VALVE ON EXISTING WATERLINE. VERIFY EXISTING LOCATION OF WATERLINE BEFORE INSTALLATION. SEE PME FOR ADDITIONAL INFORMATION.
- PROVIDE NEW ABOVE GROUND HOT BOX AND BACKFLOW PREVENTER IN EXISTING LANDSCAPED AREA. INSTALL NEW HOT BOX PER CITY OF ROCKY MOUNT STANDARDS. REMOVE EXISTING LANDSCAPING AS REQUIRED FOR INSTALLATION OF NEW HOT BOX. SEE PME FOR MORE INFORMATION.
- PATCH AND REPAIR EXISTING WALLS AFTER EXISTING PLUMBING LINE REPLACEMENT. COORDINATE WITH PME. FINISHES TO MATCH EXISTING. MATERIALS TO HAVE A SMOOTH TRANSITION FROM EXISTING TO NEW.
- INSTALL NEW SIDEWALK DUE TO DEMOLITION AND INSTALLATION OF NEW WATERLINE. SEE DETAIL 1/A1.1 FOR SIDEWALK REPAIR. NEW SIDEWALK TO MATCH PREVIOUS SIDEWALK. SEE PME FOR MORE INFORMATION.
- INSTALL EXISTING SALVAGED RAILING ON NEW STOREFRONT. SEE STOREFRONT ELEVATIONS FOR MORE INFORMATION.

TILE INSTALLATION

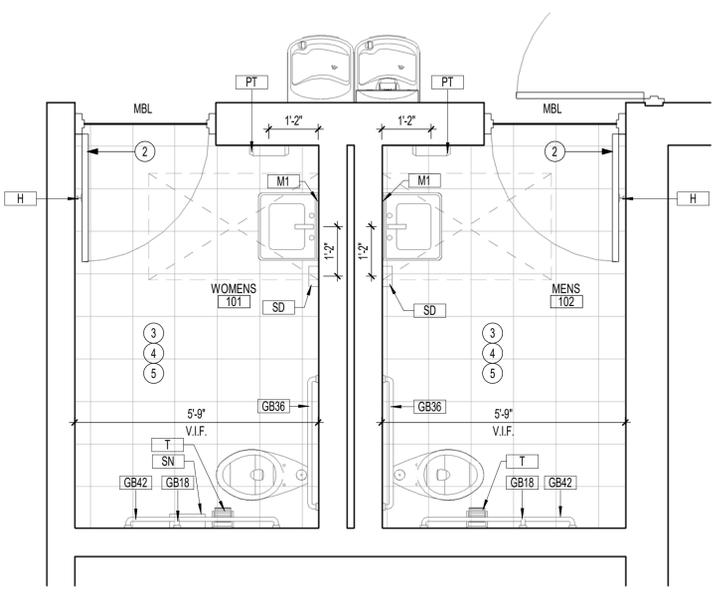
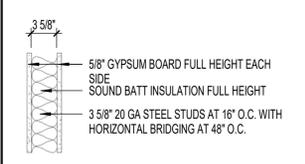
LOCATION	METHOD	DETAIL
FLOOR TOILETS	F113	7 / A1.3
WALL TOILETS	W245	8 / A1.3

- REFER TO TILE COUNCIL OF AMERICA'S CURRENT "HANDBOOK FOR CERAMIC TILE INSTALLATION" FOR DESCRIPTION OF INSTALLATION METHODS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.

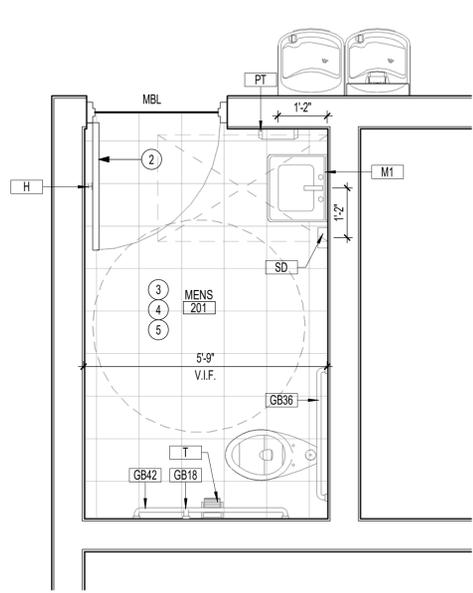
WALL LEGEND

INTERIOR STUD WALL - 3/8"

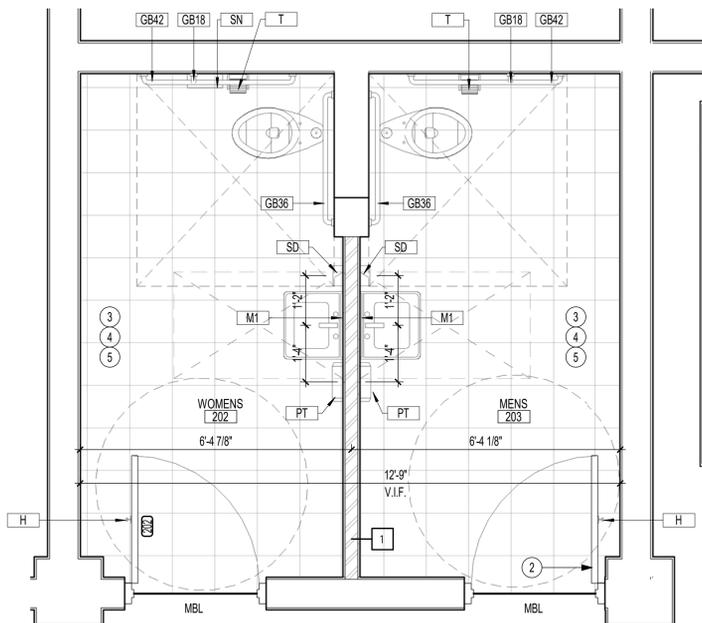
MARK	PLAN VIEW	REMARKS
1		TOP OF WALL - TIGHT TO DECK



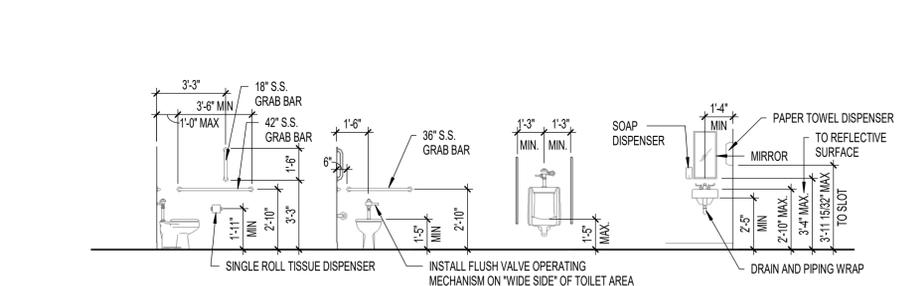
1 FIRST FLOOR - RESTROOMS
1/2" = 1'-0"



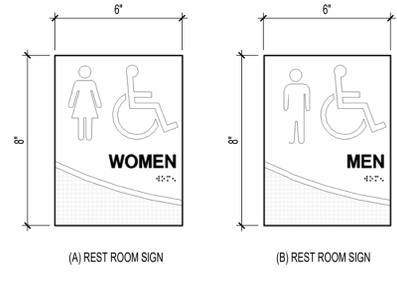
2 SECOND FLOOR - MENS RESTROOM
1/2" = 1'-0"



3 SECOND FLOOR - RESTROOMS
1/2" = 1'-0"



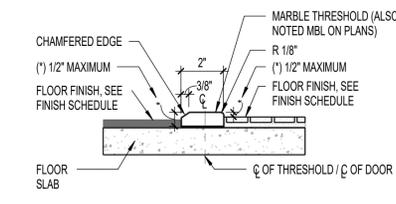
4 H.C. TOILET ACCESSORIES INSTALLATION
1/4" = 1'-0"



5 INTERIOR SIGNAGE
3" = 1'-0"

NOTES:

- ALL ROOMS UNLESS NOTED OTHERWISE SHALL HAVE ONE ROOM NUMBERNAME SIGN.
- SIGN TYPES INDICATED BY LETTER DESIGNATION, AS INDICATED, AND KEYED TO ROOM FINISH SCHEDULE.
- ALL TOILETS SHALL HAVE A RESTROOM SIGN.
- ALL ENTRANCES TO A ROOM SHALL HAVE A SIGN. COORDINATE ROOM DESIGNATIONS AND NUMBERS WITH OWNER PRIOR TO ORDERING.
- ALL SIGNAGE SHALL COMPLY WITH ALL APPLICABLE CODES. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
- CHANGEABLE COPY SIGNS SHALL HAVE TWO (2) LINES FOR OWNER INSERTS AND NON-GLARE ACRYLIC FACES.
- COLORS FOR ALL COMPONENTS SHALL BE AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE.
- ALL SIGNS SHALL BE LOCATED ON STRIKE SIDE OF DOOR AND SHALL BE 60 INCHES FROM FINISH FLOOR TO CENTERLINE OF SIGN.



6 MARBLE THRESHOLD
3" = 1'-0"

NUMBER	DESCRIPTION	MOUNTING HT.
GB18	1 1/2" DIA. X 18" S.S. (VERTICAL) GRAB BAR - PEENED	39" TO BOTTOM
GB36	1 1/2" DIA. X 36" S.S. GRAB BAR - PEENED	34" C.L.
GB42	1 1/2" DIA. X 42" S.S. GRAB BAR - PEENED	34" C.L.
H	S.S. ROBE HOOK	48" C.L.
M1	18"X36" S.S. FRAMED MIRROR, ALL SIDES BEVELED	40" TO REFLECTIVE SURFACE
PT	S.S. PAPER TOWEL DISPENSER	48" TO SLOT
SD	S.S. SURFACE MOUNTED LIQUID SOAP DISPENSER	34" TO PUSH BUTTON
SN	S.S. SANITARY NAPKIN DISPOSAL SURFACE MOUNTED	32" TO TOP
T	SINGLE ROLL TISSUE DISPENSER	23" C.L.

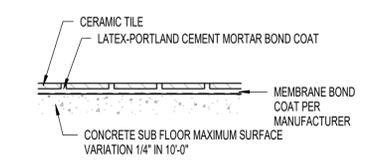
TOILET ACCESSORIES SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR	BASE	WALLS				CEILING	SIGNAGE	COMMENTS	ROOM NUMBER
				NORTH	SOUTH	EAST	WEST				
101	WOMENS	FT-1	WT-1	WT-1	PAINT	PAINT	PAINT	EXISTING TO REMAIN / PAINT	A		101
102	MENS	FT-1	WT-1	WT-1	PAINT	PAINT	PAINT	EXISTING TO REMAIN / PAINT	B		102
201	MENS	FT-1	WT-1	WT-1	PAINT	PAINT	PAINT	EXISTING TO REMAIN / PAINT	B		201
202	WOMENS	FT-1	WT-1	WT-1	PAINT	PAINT	PAINT	EXISTING TO REMAIN / PAINT	A		202
203	MENS	FT-1	WT-1	PAINT	WT-1	PAINT	PAINT	EXISTING TO REMAIN / PAINT	B		203

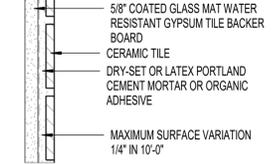
FINISH SCHEDULE

TOILET NOTES

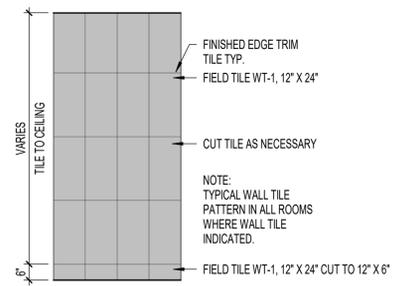
- DIMENSIONS ARE TYPICAL FOR ACCESSIBLE ACCESSORY INSTALLATIONS. EQUIPMENT AND FIXTURE ORIENTATION MAY VARY REFER TO PLAN FOR TOILET LAYOUT.
- PROVIDE ALL NECESSARY BLOCKING AND ANCHORS AS REQUIRED FOR PROPER INSTALLATION AND OPERATION OF ALL TOILET FIXTURES AND RELATED EQUIPMENT.
- REFER TO PLUMBING SCHEDULE AND DETAILS FOR ALL FIXTURES AND MOUNTING HEIGHTS.
- REFER TO FLOOR PLAN AND FINISH SCHEDULE FOR WALL FINISHES. CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL ITEMS WITH SPECIFIC WALL TYPES AND FINISHES.
- ALL TOILET ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS FOR SPECIFIC APPLICATIONS IN COMPLIANCE WITH ALL APPLICABLE CODES.
- WHERE INDICATED AND AS REQUIRED TOILET ACCESSORY INSTALLATION SHALL COMPLY WITH NC ACCESSIBILITY CODE.



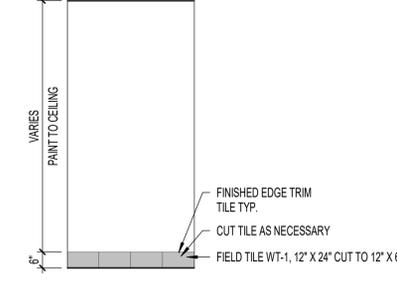
7 TCA F113
3" = 1'-0"



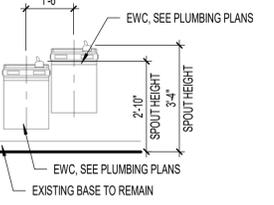
8 TCA W245
3" = 1'-0"



9 TYPICAL WALL TILE ELEVATION
3/8" = 1'-0"



10 TYPICAL TILE BASE ELEVATION
3/8" = 1'-0"

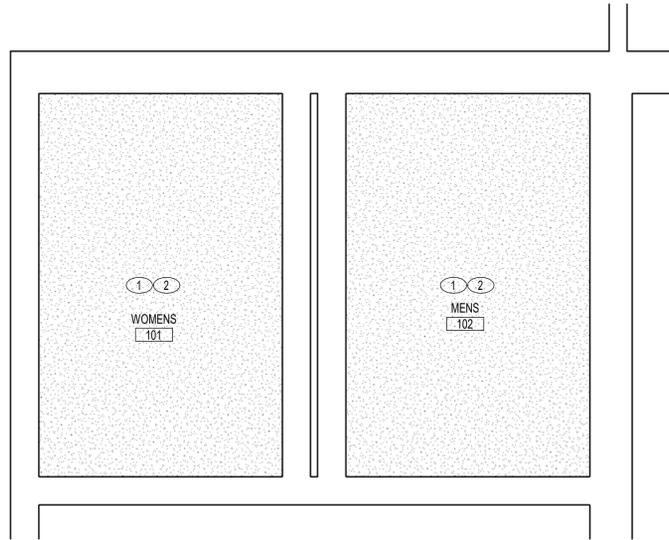


11 EWC
3/8" = 1'-0"

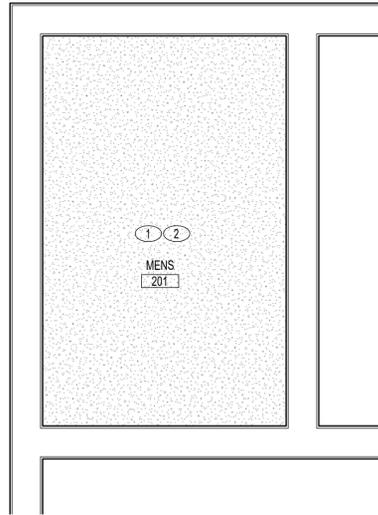
GENERAL FLOOR FINISH NOTES

- TS = FURNISH AND INSTALL TRANSITION STRIP AT ALL FLOOR MATERIAL CHANGES AS SHOWN OR AS REQUIRED.
- HEIGHT AND PROFILE OF ALL TRANSITIONS STRIPS SHALL COMPLY WITH HANDICAP CODE.
- COLOR FOR ALL TRANSITION STRIPS SHALL BE AS SELECTED BY OWNER FROM MANUFACTURER'S FULL RANGE.
- VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO INSTALLATION OF FINISHES.
- COORDINATE LOCATION OF ALL TRANSITION STRIPS WITH EXISTING AND NEW CONDITIONS. WHERE POSSIBLE, LOCATE TRANSITION STRIPS UNDER DOOR SLABS. NO EXPOSED SLAB PERMITTED IN FINISHED AREAS.
- COORDINATE SIZE OF ALL TRANSITION STRIPS WITH FINISH MATERIALS.
- INSTALL ALL FINISH PRODUCTS PER MANUFACTURER'S RECOMMENDED GUIDELINES.
- PROVIDE SAMPLES OF FINISH PRODUCTS AS REQUESTED BY ARCHITECT.

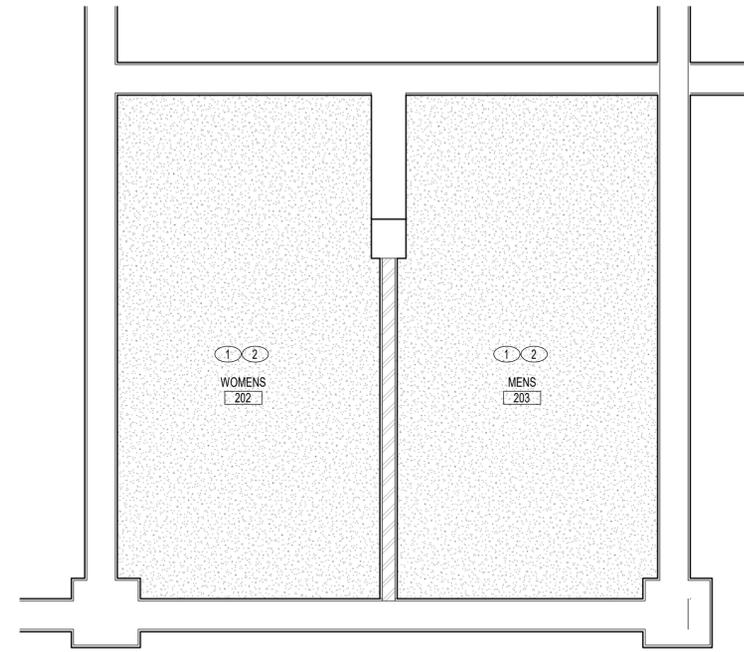
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1
A1.4 FIRST FLOOR - RESTROOMS
1/2" = 1'-0"



2
A1.4 SECOND FLOOR PLAN - MENS RESTROOM RCP
1/2" = 1'-0"



3
A1.4 SECOND FLOOR PLAN - RESTROOMS RCP
1/2" = 1'-0"

CEILING KEYNOTES (F)

- EXISTING CEILING TO BE PAINTED. COLOR PER ARCHITECT.
- PATCH AND REPAIR EXISTING GYPSUM BOARD CEILING DUE TO DAMAGE, REMOVAL OF POPCORN TEXTURE CEILING, AND PREVIOUS DEMOLITION WORK. NEW GYPSUM BOARD TO BE FLUSH WITH EXISTING GYPSUM BOARD FOR A SMOOTH TRANSITION.

GENERAL RCP NOTES

- REFER TO HVAC, ELECTRICAL, FIRE PROTECTION, AND PLUMBING FOR FURTHER INFORMATION.
- NOT ALL MEP DEVICES ARE SHOWN IN CEILING PLANS. SEE MEP DRAWINGS FOR LOCATIONS AND QUANTITIES.

LEGEND

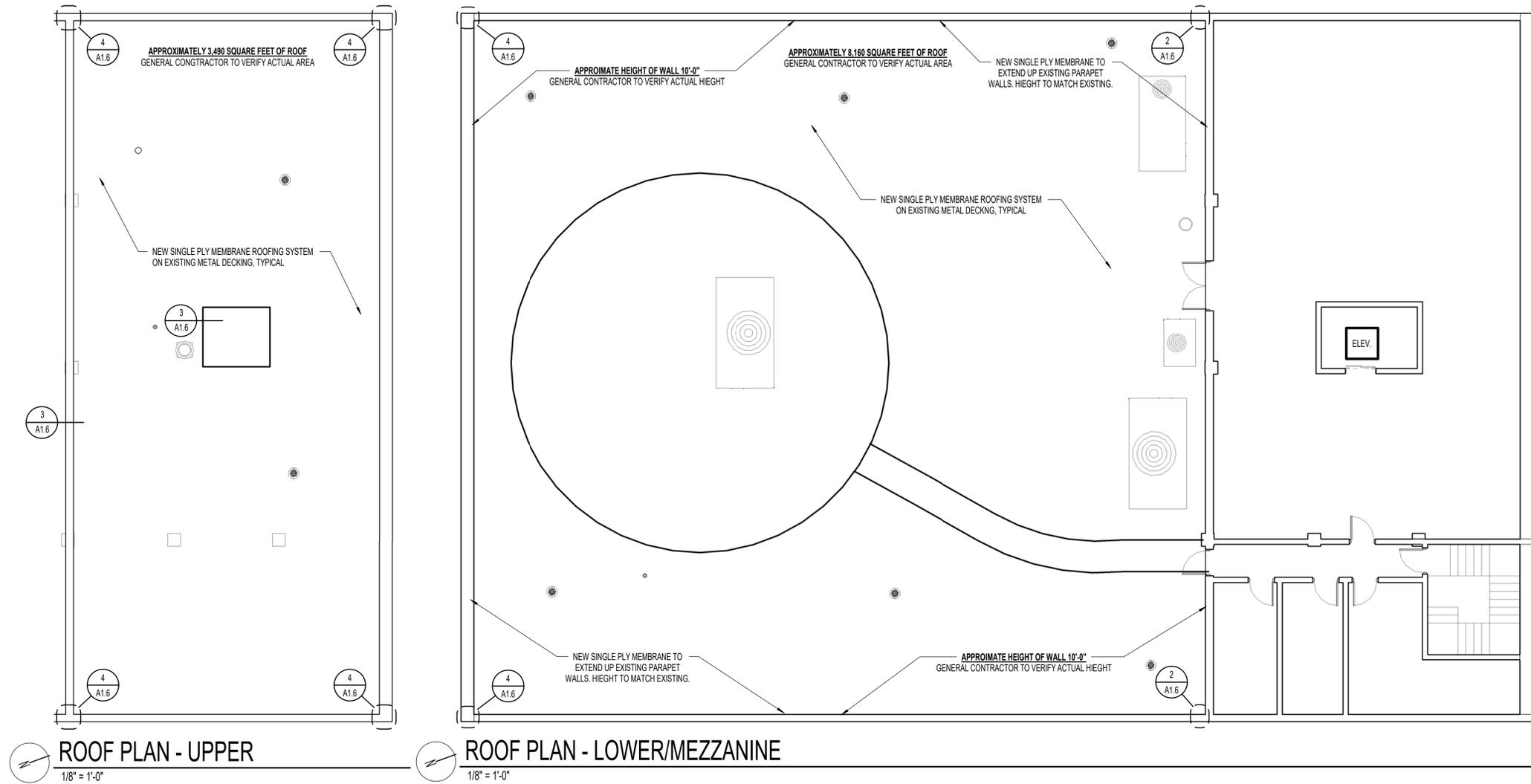
EXISTING GYPSUM BOARD CEILING

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

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ROOF PLAN - UPPER
1/8" = 1'-0"

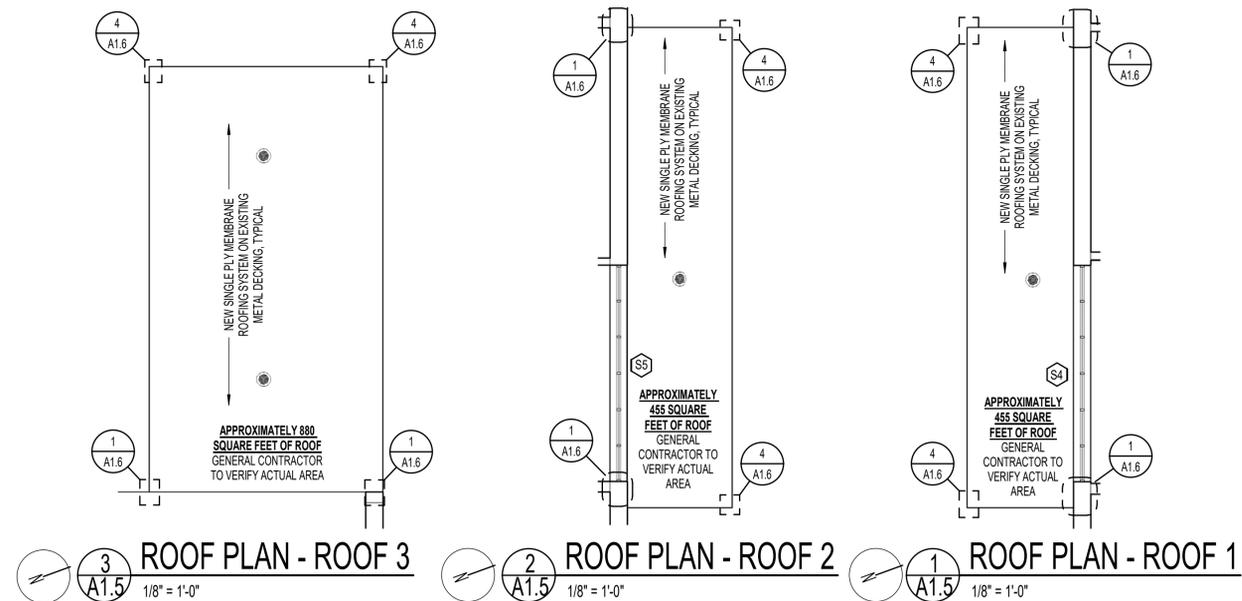
ROOF PLAN - LOWER/MEZZANINE
1/8" = 1'-0"

GENERAL ROOF NOTES

1. CONTRACTOR SHALL FIELD VERIFY AND COORDINATE LOCATION, TYPE, AND QUANTITY OF ALL EXISTING ROOF MOUNTED EQUIPMENT AND PENETRATIONS AND MAKE ALL NECESSARY PROVISIONS FOR SAME.
2. FASCIA COMPONENTS SHALL BE PREFINISHED ALUMINUM COLOR TO MATCH EXISTING.
3. ALL ROOF MOUNTED ITEMS SHALL BE PAINTED, CLEAN PREPARE AND PRIME SURFACES AS REQUIRED - COLOR PER ARCHITECT.
4. REMOVE AND REINSTALL ALL EXISTING ROOF MOUNTED SPLASH PADS.
5. CONTRACTORS OPT IN THIS AREA TO PROVIDE FASCIA AS CURRENTLY INSTALLED OR EXTEND NEW MEMBRANE OVER PARAPET WITH FLASHING, COUNTERFLASHING AND TERMINATION PER ROOFING MANUFACTURER'S RECOMMENDATIONS.

GENERAL ROOF RENOVATION NOTES

1. OWNER WILL OCCUPY THE BUILDINGS DURING THE COURSE OF WORK. CAREFUL COORDINATION WITH OWNER'S ACTIVITIES ARE REQUIRED FOR ANY ROOF MOUNTED ITEMS REQUIRING TEMPORARY REMOVAL.
2. FIELD VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND EQUIPMENT TYPES, CONNECTIONS AND LOCATIONS PRIOR TO THE START OF ANY WORK. DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR EVALUATION BEFORE CONTINUING WITH WORK.
3. FIELD VERIFY ALL UTILITY CONNECTIONS FOR EXISTING EQUIPMENT AFFECTED BY THE SCOPE OF WORK PRIOR TO START OF ANY WORK. CONDITIONS THAT PROHIBIT THE WORK FROM BEING PERFORMED AS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER FOR EVALUATION BEFORE CONTINUING WITH WORK.
4. TAKE NECESSARY MEASURES TO PROTECT EXISTING ITEMS/CONSTRUCTION/EQUIPMENT TO REMAIN FROM DAMAGE. REPAIR/REFINISH ALL MATERIALS DAMAGED BY WORK.
5. COORDINATE ALL PLUMBING, MECHANICAL, AND ELECTRICAL WORK.
6. CONTRACTOR SHALL DOCUMENT EXISTING CONDITIONS OF ITEMS TO REMAIN PRIOR TO START OF WORK AND SHALL NOTIFY OWNER IN WRITING OF DEFICIENCIES NOT SPECIFICALLY ADDRESSED IN THE DOCUMENTS.
7. ALL EXISTING ROOF MOUNTED EQUIPMENT IS IN FUNCTIONAL CONDITION. THE CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF ANY CONDITIONS ENCOUNTERED AFFECTING FUNCTIONAL STATUS.



ROOF PLAN - ROOF 3
1/8" = 1'-0"

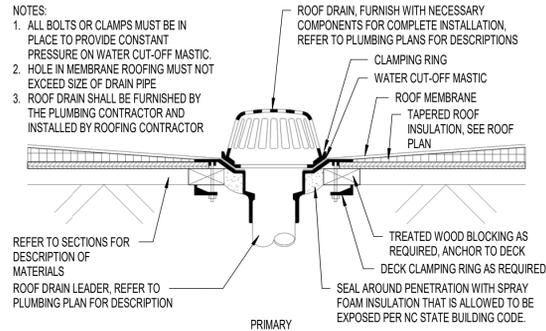
ROOF PLAN - ROOF 2
1/8" = 1'-0"

ROOF PLAN - ROOF 1
1/8" = 1'-0"

GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all Dimensions.

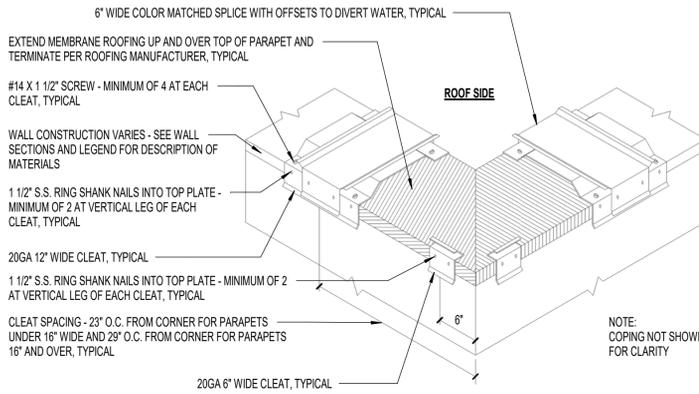
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ROOF PLANS	



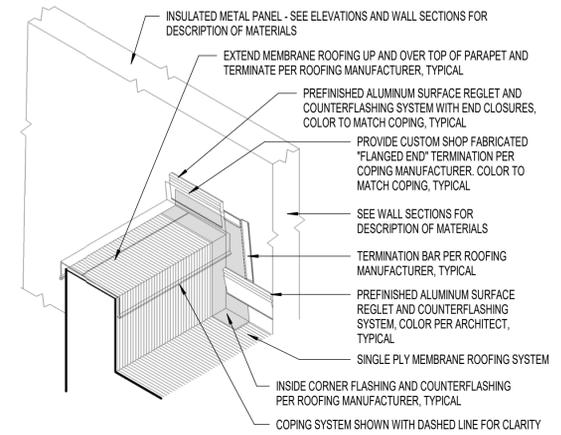
7
A1.6
1 1/2" = 1'-0"

ROOF DRAIN



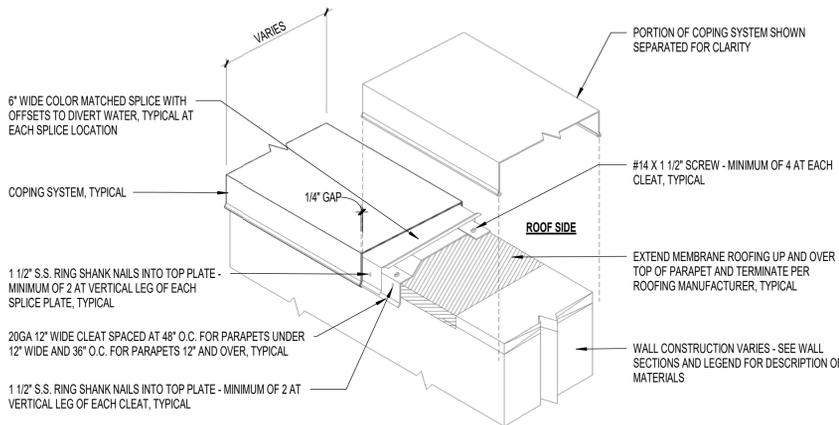
4
A1.6
1" = 1'-0"

PARAPET CONNECTION



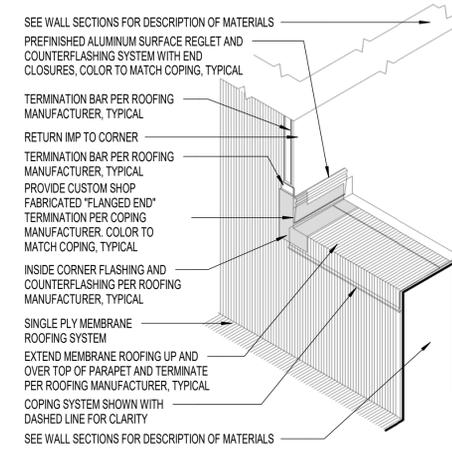
1
A1.6
3/4" = 1'-0"

PARAPET CONNECTION



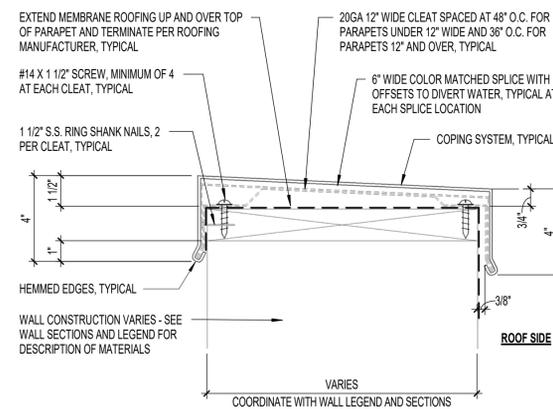
5
A1.6
1" = 1'-0"

PARAPET CONNECTION



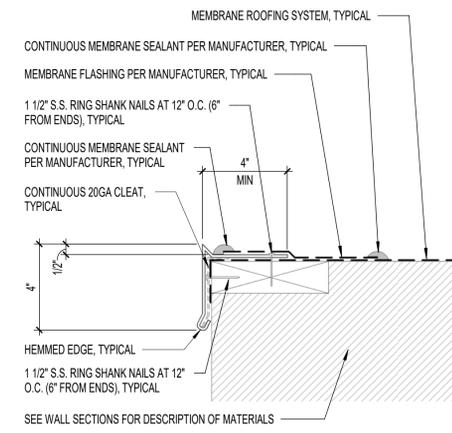
2
A1.6
3/4" = 1'-0"

PARAPET CONNECTION



6
A1.6
3" = 1'-0"

PARAPET CONNECTION



3
A1.6
3" = 1'-0"

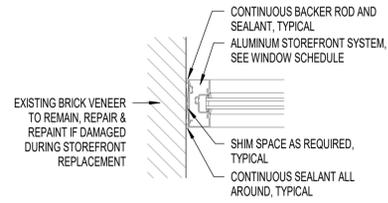
PARAPET CONNECTION

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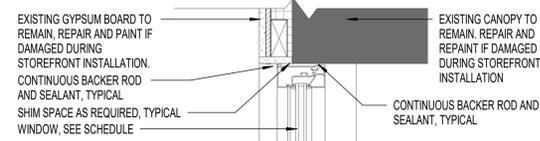
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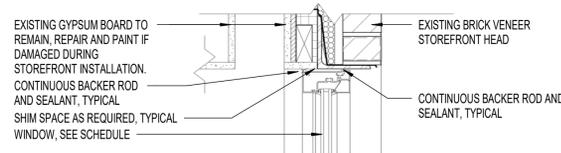
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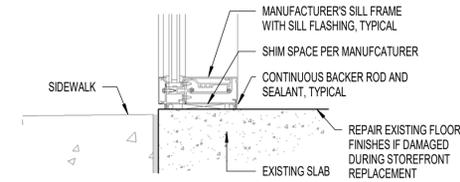
10 JAMB - 1ST & 2ND FLOOR
A6.1 1 1/2" = 1'-0"



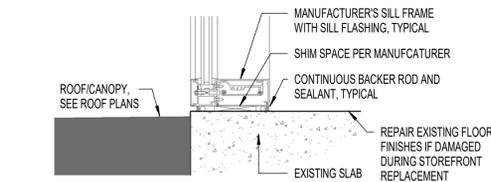
6 HEAD - STOREFRONT 1ST FLOOR
A6.1 1 1/2" = 1'-0"



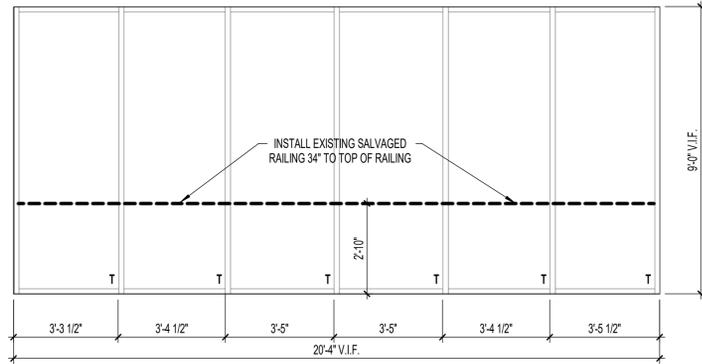
7 HEAD - STOREFRONT 2ND FLOOR
A6.1 1 1/2" = 1'-0"



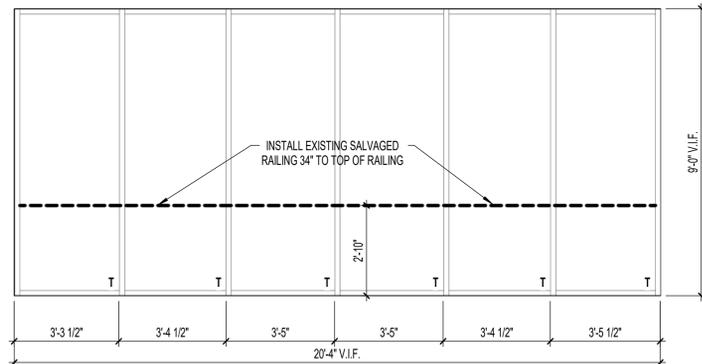
8 SILL - 1ST FLOOR
A6.1 1 1/2" = 1'-0"



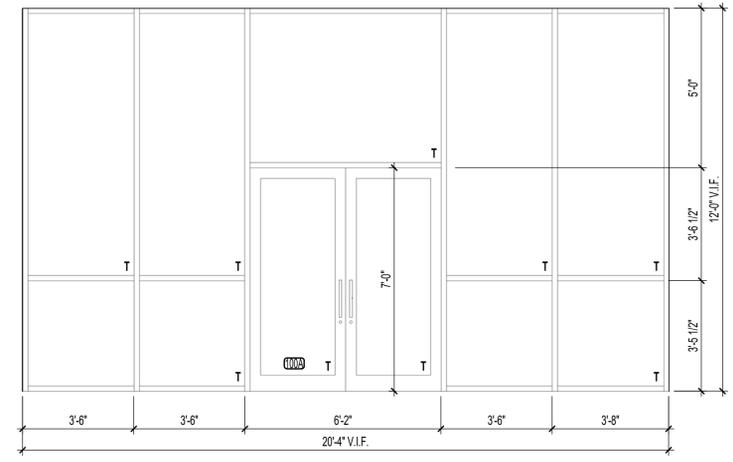
9 SILL - 2ND FLOOR
A6.1 1 1/2" = 1'-0"



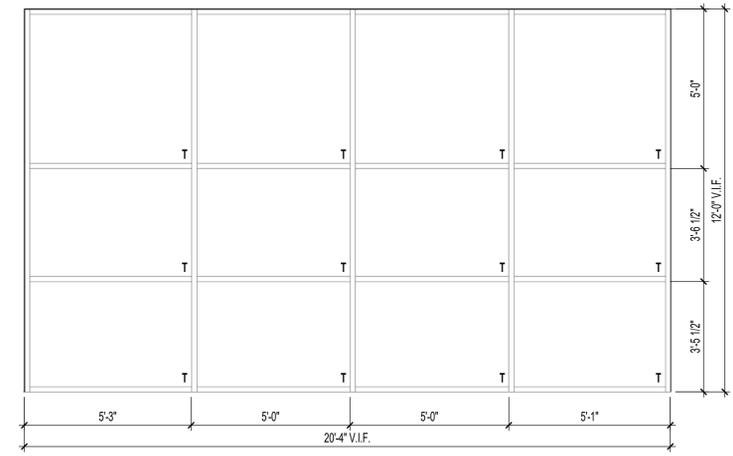
4 S4
A6.1 3/8" = 1'-0"



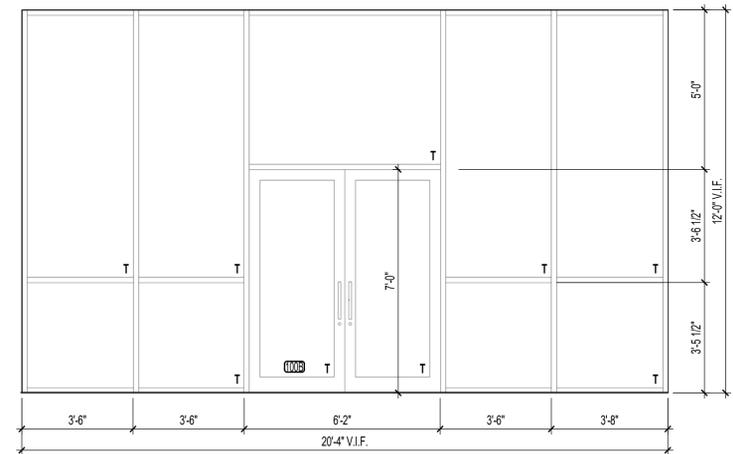
5 S5
A6.1 3/8" = 1'-0"



1 S1
A6.1 3/8" = 1'-0"



2 S2
A6.1 3/8" = 1'-0"



3 S3
A6.1 3/8" = 1'-0"

INTERIOR HEADER SCHEDULE

OPENING	SIZE	JACK	JAMB
0'-0" TO 5'-0"	3 5/8" X 20 GA.	2	2
5'-1" TO 7'-0"	6" X 20 GA.	2	2
7'-1" TO 10'-0"	8" X 20 GA.	2	3

ALL BOXED HEADERS SHALL BE SIZED TO FIT WALL SIZES SHOWN ARE MINIMUMS.
PROVIDE JACK AND JAMB STUDS AT EACH INTERIOR HEADER LOCATION AS SCHEDULED UNLESS NOTED OTHERWISE ON ARCHITECTURAL OR STRUCTURAL PLANS.

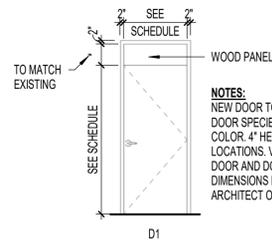
NOTE:
T= TEMPERED GLAZING

STOREFRONT SCHEDULE

MARK	DESCRIPTION	GLAZING			RATING	COMMENTS
		THICKNESS	COLOR	FRAME FINISH		
S1	4.5" STOREFRONT SYSTEM	1"	SEE SPECIFICATION	PRE-FINISHED	N/A	BLINDS
S2	4.5" STOREFRONT SYSTEM	1"	SEE SPECIFICATION	PRE-FINISHED	N/A	BLINDS
S3	4.5" STOREFRONT SYSTEM	1"	SEE SPECIFICATION	PRE-FINISHED	N/A	BLINDS
S4	4.5" STOREFRONT SYSTEM	1"	SEE SPECIFICATION	PRE-FINISHED	N/A	BLINDS
S5	4.5" STOREFRONT SYSTEM	1"	SEE SPECIFICATION	PRE-FINISHED	N/A	BLINDS

GENERAL DOOR NOTES

- ALL HARDWARE SHALL MEET ALL APPLICABLE HANDICAP CODES.
- TEMPERED GLAZING SHALL BE USED AS NOTED AND AS REQUIRED BY CODE.
- EXTERIOR DOOR GLAZING SHALL BE 5/8" TEMPERED INSULATING, TYPICAL, U.N.O.
- EXTERIOR DOOR GLAZING SHALL BE TINTED TO MATCH STOREFRONT GLAZING
- FURNISH AND INSTALL DOOR CLOSERS AS SCHEDULED IN COMPLIANCE WITH ALL APPLICABLE CODES.
- ALL HOLLOW METAL DOOR FRAMES SHALL BE FULLY WELDED TYPE, FACTORY PRIMED, AND FIELD PAINTED. COLOR PER ARCHITECT. INSTALL PER MANUFACTURER FOR PROPER INSTALLATION AND OPERATION FOR SPECIFIC APPLICATIONS.
- ALL WOOD DOORS SHALL BE STAIN GRADE, SPECIES, AND COLOR PER ARCHITECT.
- ALL ALUMINUM STOREFRONT AND DOORS SHALL BE PREFINISHED COLOR AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.
- DOOR THRESHOLDS SHALL BE 1/2" MAXIMUM HEIGHT.
- ALL EXISTING DOORS, ASSOCIATED DOOR HARDWARE, AND FRAMES TO REMAIN SHALL BE ACCESSED PRIOR TO RENOVATION. ALL EXISTING DOORS, DOOR HARDWARE, AND FRAMES TO REMAIN SHALL BE REFURBISHED TO MATCH PROJECT STANDARDS.



DOOR - ELEVATIONS
1/4" = 1'-0"

DOOR SCHEDULE

DOOR NUMBER	DOOR				FRAME				COMMENTS	DOOR NUMBER			
	SIZE		MATERIAL	FINISH	DESCRIPTION		MATERIAL	FINISH					
	WIDTH	HEIGHT			GLAZING	ELEVATION					ELEVATION		
100A	6'-0"	7'-0"	1 3/4"	ALUMINUM	PRE-FINISHED	5/8" INSULATING TEMPERED	S1	N/A	ALUMINUM	PRE-FINISHED	S1		100A
100B	6'-0"	7'-0"	1 3/4"	ALUMINUM	PRE-FINISHED	5/8" INSULATING TEMPERED	S3	N/A	ALUMINUM	PRE-FINISHED	S3		100B
202	3'-0"	7'-0"	1 3/4"	SOLID CORE WOOD	TO MATCH EXISTING	N/A	D1	N/A	HOLLOW METAL	TO MATCH EXISTING	D1	HARDWARE TO MATCH EXISTING	202



BID SET



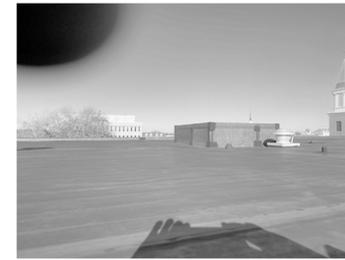
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GENERAL NOTE:
Prior to construction start, Contractor shall verify & be responsible for all dimensions.

Revisions	Description	Date
#		

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Sheet Title
DOOR / STOREFRONT SCHEDULES



1 DOCUMENTATION - ROOFS SEE ROOF PLANS
A8.1 NTS



2 DOCUMENTATION - SECOND FLOOR ROOFS SEE ROOF PLANS
A8.1 NTS

3 DOCUMENTATION - STOREFRONT SEE STOREFRONT ELEVATIONS
A8.1 NTS



4 DOCUMENTATION - EXTERIOR EAST
A8.1 NTS

5 DOCUMENTATION - EXTERIOR SOUTH
A8.1 NTS

6 DOCUMENTATION - EXTERIOR NORTH
A8.1 NTS



7 DOCUMENTATION - EXTERIOR WEST
A8.1 NTS



BID SET



BID SET

GENERAL NOTE:
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Sheet Title
DOCUMENTATION

SYMBOLS AND ABBREVIATIONS

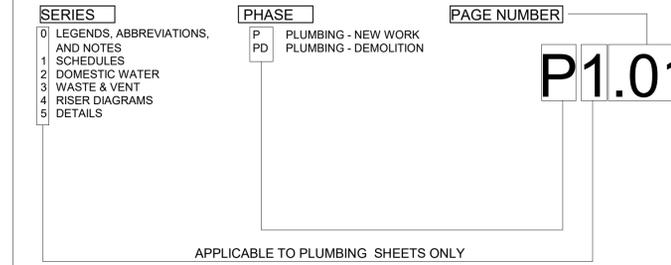
ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION
AD	AREA DRAIN	GAL	GALLON	PC	PLUMBING CONTRACTOR
AFF	ABOVE FINISHED FLOOR	GPM	GALLON PER MINUTE	POC	POINT OF CONNECTION
AG	ABOVE GROUND	GPH	GALLON PER HOUR	PRV	PRESSURE REDUCING VALVE
AHJ	AUTHORITY HAVING JURISDICTION	HD	HEAD	PSI	POUNDS PER SQUARE INCH
AMP	AMPERE	HP	HORSEPOWER	RDL	ROOF DRAIN LEADER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	HR	HOUR	RPZ	REDUCED PRESSURE ZONE
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS	HWS	HOT WATER SUPPLY	S/S	SANITARY SEWER
ASPE	AMERICAN SOCIETY OF PLUMBING ENGINEERS	HWR	HOT WATER RETURN	TD	TRENCH DRAIN
ATM	ATMOSPHERE	IE	INVERT ELEVATION	TPV	TRAP PRIMER VALVE
BTU	BRITISH THERMAL UNITS	N C	NORMALLY CLOSED	TW	TEMPERED WATER
BTUH	BRITISH THERMAL UNITS PER HOUR	N O	NORMALLY OPEN	UG	UNDERGROUND
CA	COMPRESSED AIR	NG	NATURAL GAS	V	VACUUM
CIP	CAST IRON PIPE	NIC	NOT IN CONTRACT	VTR	VENT THROUGH ROOF
CO	CLEANOUT	NPS	NOMINAL PIPE SIZE	WCO	WALL CLEANOUT
CWS	COLD WATER SUPPLY			WHA	WATER HAMMER ARRESTOR
DEG	DEGREE				
DIP	DUCTILE IRON PIPE				
DIA	DIAMETER				
EL	ELEVATION				
FCO	FLOOR CLEANOUT				
FD	FLOOR DRAIN				
FF	FINISHED FLOOR				
FFE	FINISHED FLOOR ELEVATION				
FL	FLOOR				
FT	FOOT/FEET				
FU	FIXTURE UNIT				
FS	FLOOR SINK				

SYMBOLS	DEFINITION	SYMBOLS	DEFINITION	SYMBOLS	DEFINITION
	BALL VALVE		MIXING VALVE		POINT OF CONNECTION TO EXISTING
	CHECK VALVE		PUMP		DEMOLITION CALLOUT
	CIRCUIT SETTER		REDUCED PRESSURE ZONE BACKFLOW PREVENTER		DETAIL CALLOUT
	DOUBLE CHECK BACKFLOW PREVENTER		ROOF DRAIN		REVISION CALLOUT
	EQUIPMENT DESIGNATION		TRAP PRIMER VALVE		KEYNOTE TAG
	EXTERIOR CLEANOUT		TEMPERATURE & PRESSURE RELIEF VALVE		DEMOLITION
	FLOOR DRAIN		UNION		
	FLOOR SINK		VACUUM BREAKER		
	HOSE BIBB		WALL CLEANOUT		
	INTERIOR FLOOR CLEANOUT		WATER HAMMER ARRESTOR		

LINETYPES	DEFINITIONS	LINETYPES	DEFINITIONS
	DOMESTIC COLD WATER		EXISTING DOMESTIC COLD WATER
	DOMESTIC HOT WATER		EXISTING DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN		EXISTING DOMESTIC HOT WATER RETURN
	SANITARY		EXISTING SANITARY
	SANITARY VENT		EXISTING SANITARY VENT
			EXISTING STORM
			EXISTING STORM OVERFLOW

NOTE: NOT ALL ABBREVIATIONS AND SYMBOLS ARE UTILIZED IN THE SCOPE OF WORK FOR THIS PROJECT BUT ARE STANDARD TERMINOLOGY USED BY ENGINEERED DESIGNS INC.

SHEET NAMING LEGEND



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PLUMBING NOTES, LEGENDS AND ABBREVIATIONS	

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PLUMBING FIXTURE SCHEDULE								
ITEM	FIXTURE DESCRIPTION	EQUIPMENT SPECIFICATION	ADA (Y/N)	POTABLE WATER CONNECTIONS			WASTE AND VENT CONNECTIONS	
				COLD	HOT	TW	WASTE	VENT
EWC-1	ELECTRIC WATER COOLER	ELKAY BOTTLE FILLING STATION MODEL LZSTL8WSVRLK, WALL MOUNTED, 2-STATIONS (1-UPPER WITH BOTTLE FILLER), STAINLESS STEEL CONSTRUCTION, COLOR GRAY, ADA COMPLIANT.	Y	1/2"	-	-	1-1/2"	1-1/4"
LAV-1	LAVATORY	KOHLER MODEL K-1728 CHESAPEAKE WALL HUNG LAVATORY, VITREOUS CHINA, FRONT OVERFLOW, 19 1/4" X 17 1/4" OVERALL DIMENSIONS, 14" X 11" BASIN, SELF-DRAINING DECK AREA, LEDGE, 15" X 10" X 6 3/4" BOWL, SET UP FOR WALL HANGER OR CONCEALED SUPPORT ARMS.	Y	-	-	-	1-1/2"	2"
	FAUCET	MOEN MODEL CA8301 ELECTRONIC AC POWERED LAVATORY FAUCET, CHROME PLATED METAL CONSTRUCTION, 4" CENTERSET, ADJUSTABLE INFRARED SENSOR, TEMPERATURE CONTROLLED BY MIXING VALVE, IN-LINE FILTER, VANDAL RESISTANT, 0.5 GPM, ADA COMPLIANT, CSA AND IAMPO CERTIFIED TO MEET ASME A112.18.1M, 5 YEAR WARRANTY.	Y	1/2"	1/2"	-	-	-
	P-TRAP	MCGUIRE MANUFACTURING MODEL B8872 HEAVY CAST BRASS P-TRAP WITH CLEANOUT PLUG	-	-	-	-	1-1/2"	-
	STOP & SUPPLIES	MCGUIRE MANUFACTURING MODEL 177, 1/2" COPPER SWEAT X 1/2" OD, CHROME PLATED ANGLE STOP, ROUND WHEEL HANDLES	-	1/2"	1/2"	-	-	-
WC-1	UNDER LAVATORY PIPING INSULATORS	MCGUIRE MANUFACTURING CO., INC. MODEL PW2000 PRO WRAP SEAMLESS INSULATOR, MOLDED CLOSED CELL VINYL, 3/16" THICK, WHITE, WITH COVERS FRONT RAP, TAIL PIECE, WALL BEND AND 2 SUPPLY COVERS.	-	-	-	-	-	-
	WATER CLOSET	KOHLER HIGHCLIFF MODEL K-96057 ELONGATED TOILET, VITREOUS CHINA, 1.28 GPF, 16 5/8" RIM HEIGHT, ELONGATED SIPHON ACTION BOWL, FULLY GLAZED TRAPWAY, 1 1/2" TOP SPUD, 2 1/4" PASSAGEWAY, SUPPLIED WITH HOHLER K-4670-SC SEAT.	Y	1"	-	-	4"	2"
	FLUSH VALVE	SLOAN VALVE MODEL 111-ESS-1.28-DFB-OR-HW, DUAL FILTERED BYPASS DIAPHRAGM, ELECTRICAL OVERRIDE, POLISHED CHROME, HARDWIRED SENSOR OPERATED, 1.28 GPF, ADA COMPLIANT.	-	1"	-	-	-	-
WC-1	CARRIER	ZURN MODEL Z-1208-N42 VERTICAL SIPHON JET WATER CLOSET SUPPORT SYSTEM, DUAL COATED CAST IRON MAIN FITTING, FLOOR MOUNTED FOOT SUPPORTS, CORROSION RESISTANT	-	-	-	-	-	-
	X-WH	WATER HEATER	-	-	-	-	-	-

PLUMBING/ELECTRICAL EQUIPMENT SCHEDULE									
EQUIPMENT DESIGNATION	EQUIPMENT DESCRIPTION	EQUIPMENT FURNISHED BY	VOLTAGE/ PHASE	KW	HP	DISCONNECT FURNISHED BY	STARTER FURNISHED BY	CONTROLS	REMARKS
EWC-1	ELECTRIC WATER COOLER W/ BOTTLE FILLER	PC	115V	2.3KW	-	EC	N/A	W/EQUIP	ELKAY, MODEL LZSTL8WSVRLK
LAV-1	AUTOMATIC FAUCET FOR LAVATORY	PC	120V	-	-	EC	N/A	W/EQUIP	MOEN, MODEL CA8301
WC-1	AUTOMATIC FLUSH VALVE FOR WATER CLOSET	PC	120V	-	-	EC	N/A	W/EQUIP	SLOAN, MODEL 111-ESS-1.28-DFB-OR-HW

DOMESTIC WATER SYSTEM CALCULATIONS							
Domestic Water Fixtures							
Description	Quantity	Cold Water		Hot Water		Total	Total
		FU	Total	FU	Total		
EWC	2	0.25	0.50	-	-	-	-
Mop Sink	1	2.25	2.25	2.25	2.25	2.25	2.25
Lavatory, Public	7	1.5	10.5	1.5	10.5	10.5	10.5
Break Sink	1	3	3	3	3	3	3
Water Closet, FV, Public	7	10	70	-	-	-	-
		WSFU(Fixtures) =		86.25		15.75	
		Cold Water		Hot Water			
GPM(per WSFU) =	$\frac{GPM(High) - GPM(Low)}{WSFU(High) - WSFU(Low)}$	$\frac{64.3 - 61.2}{90-80}$	=	0.31	$\frac{18.00 - 17.50}{16-15}$	=	0.5
WSFU =	$WSFU(Fixtures) \times WSFU(Low)$	86.25×80	=	6.25	15.75×15	=	0.75
GPM =	$WSFU \times GPM(per WSFU)$	6.25×0.31	=	1.94	0.75×0.5	=	0.375
GPM(Fixtures) =	$GPM(Low) + GPM$	$61.2 + 1.94$	=	63.14	$17.50 + 0.375$	=	17.875
WATER	Selected Pipe Size:	2"		1"			
	Water Velocity (Approximate):	7 fps		7.5 fps			
	Pressure Drop Per 100 Feet (Approximate):	7 psi		18 psi			

NOTES:
1. Fixtures Units, water velocity, and pressure drop are calculated per NCBC - Plumbing, Latest Edition.
2. Piping sized per table 709.1, Table 709.2, Table 710.1(1), and Table 710.1(2), NCBA - Plumbing, Latest Edition.



109 Candlewood Road, Rocky Mount, NC 27804 (P) 252.937.2500
1111 Haynes Street, Suite 109, Raleigh, NC 27604 (P) 919.985.7700

TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



ROCKY MOUNT, NC
THE CENTER OF IT ALL



GENERAL NOTE:
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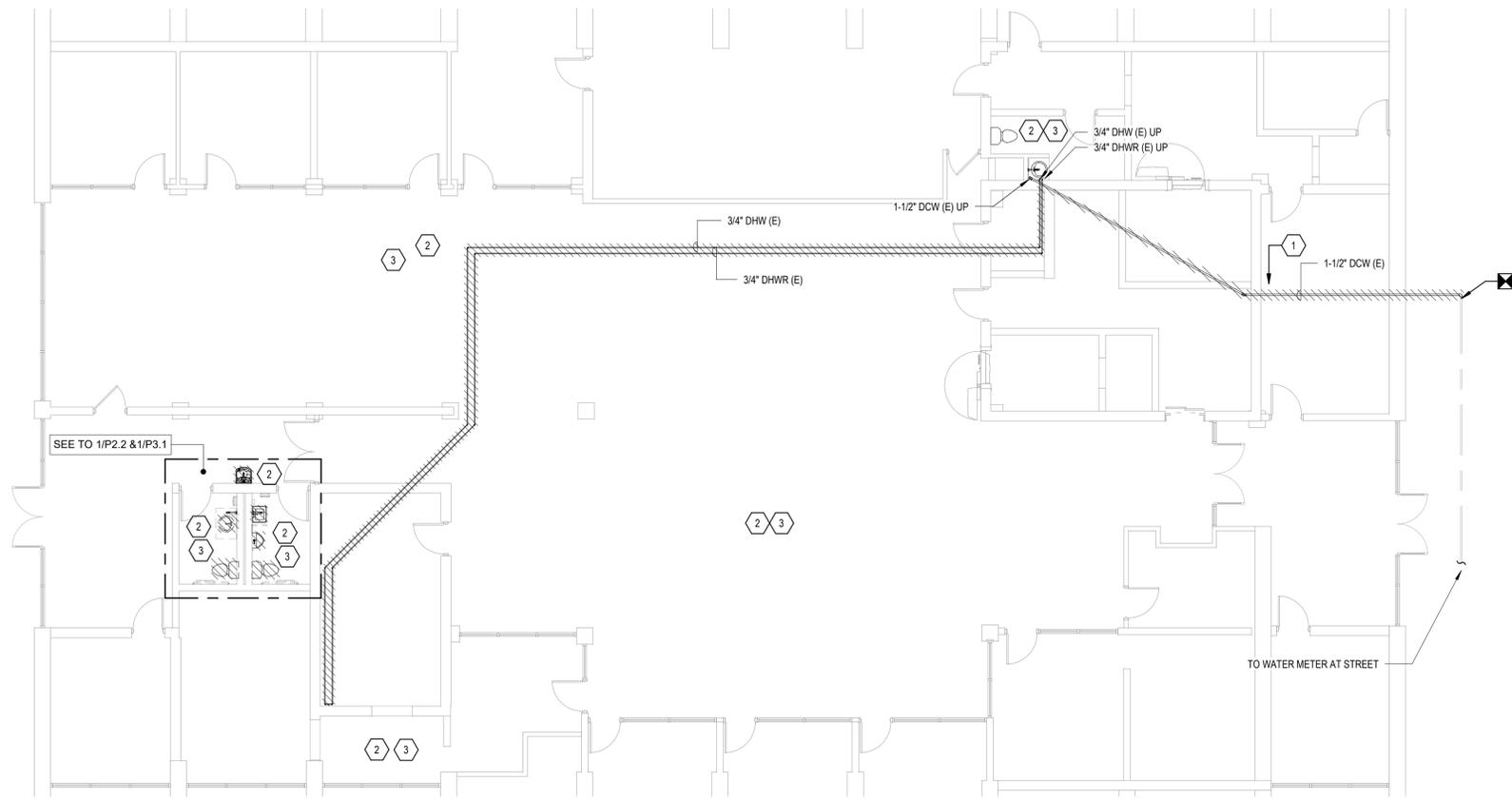
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PLUMBING SCHEDULES

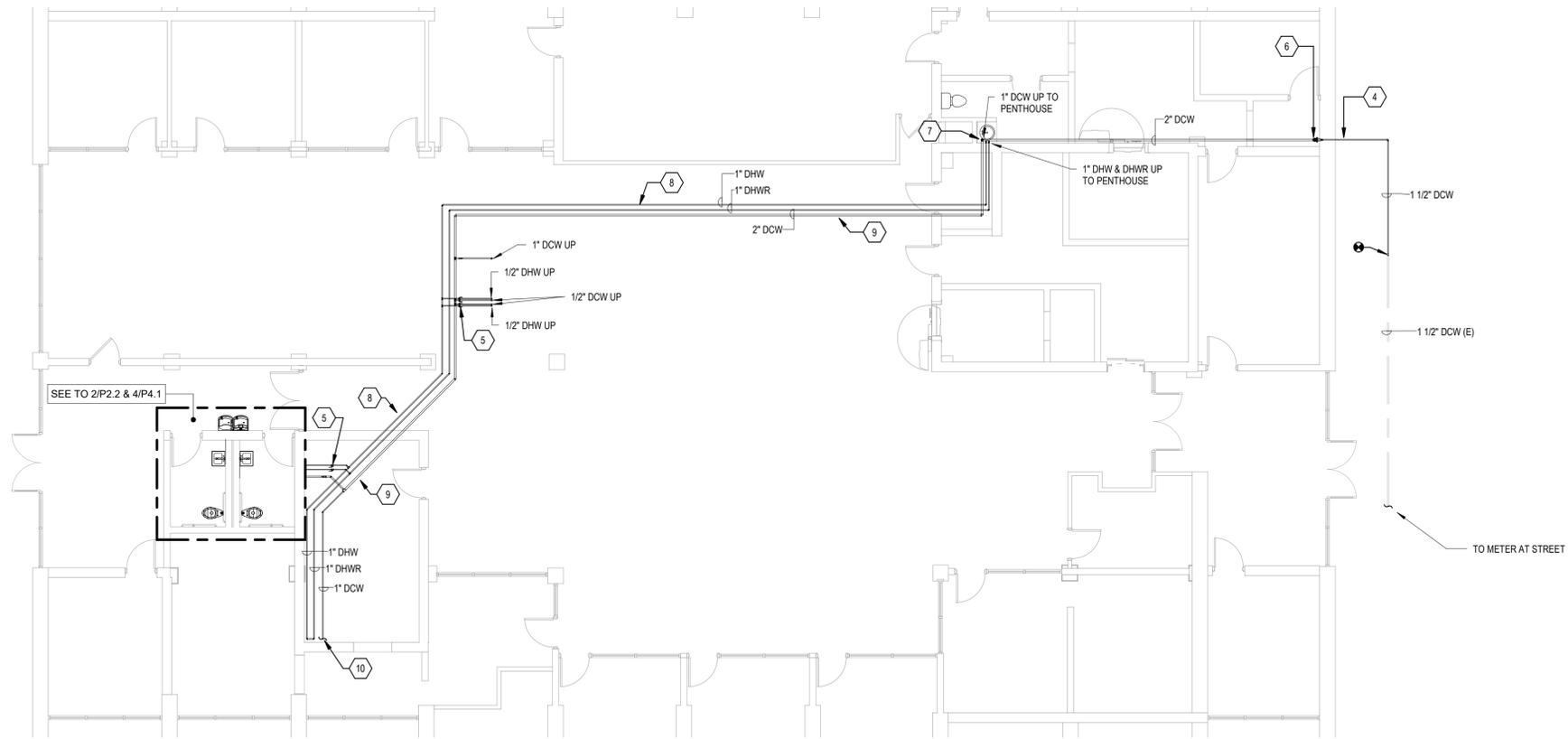


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1 PLUMBING DEMOLITION - FIRST FLOOR PLAN
P2.1 SCALE: 1/8" = 1'-0"



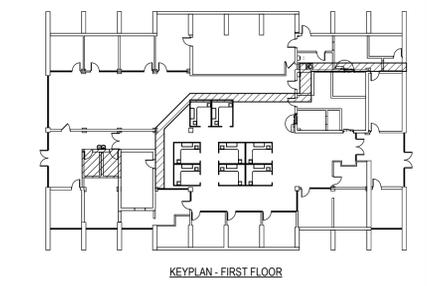
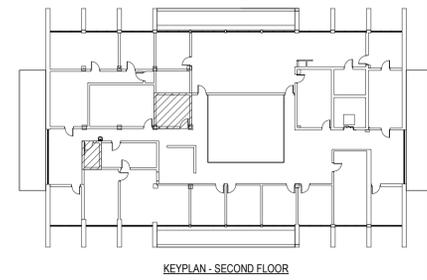
2 PLUMBING - FIRST FLOOR PLAN
P2.1 SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. PLUMBING CONTRACTOR SHALL NOTE AND RECORD EXISTING DOMESTIC COLD WATER, WASTE, AND VENT PIPING SIZES AND LOCATIONS IN ORDER TO FACILITATE NEW WORK. ANY HIDDEN DEFICIENCIES SHALL BE NOTED AND OWNER SHALL BE INFORMED. THE EXISTING CONDITIONS REPRESENTED ON THESE PLANS ARE BASED ON THE ORIGINAL PLUMBING DRAWINGS PROVIDED BY OWNER AND ARE, TO THE ENGINEER'S KNOWLEDGE, CORRECT LESS ANY MODIFICATIONS MADE TO THE BUILDING AFTER ITS ORIGINAL CONSTRUCTION.
2. THE BUILDING WILL BE IN USE DURING CONSTRUCTION AND THUS THE CONTRACTOR SHALL MAKE EVERY EFFORTS TO MINIMIZE IMPACT TO BUILDING OPERATIONS DURING DEMOLITION AND NEW WORK. COORDINATE ANY REQUIRED PHASING AND AFTER HOURS WORK WITH OWNER THAT WOULD BE REQUIRED.
3. TO MINIMIZE DAMAGE TO EXISTING STRUCTURE AND FINISHES, PORTIONS OF THE EXISTING DOMESTIC WATER SYSTEM MAY BE DRAINED, CAPED AND ABANDONED IN PLACE. CONTRACTOR SHALL CONFIRM AND COORDINATE WITH OWNER AND ARCHITECT ALL AREAS PROPOSED TO BE ABANDONED IN PLACE PRIOR TO BEGINNING OF DEMOLITION AND NEW WORK.
4. REFER TO CIVIL/SITE DRAWINGS FOR BACKFLOW PREVENTER.

KEYED NOTES

- 1 SITE CLEAR EXISTING DOMESTIC COLD WATER PIPING FROM EXISTING HOT WATER HEATER IN PENTHOUSE BACK TO BUILDING SERVICE MAIN PRIOR TO ENTERING BUILDING
- 2 SITE CLEAR EXISTING DOMESTIC COLD WATER MAIN AND ASSOCIATED BRANCHES SERVING ALL EXISTING PLUMBING FIXTURES. BASED ON ACCESSIBILITY OF PIPING, REFER TO GENERAL NOTE #3 ABOVE.
- 3 SITE CLEAR EXISTING DOMESTIC HOT WATER LOOP AND ASSOCIATED BRANCHES SERVING ALL EXISTING PLUMBING FIXTURES. BASED ON ACCESSIBILITY OF PIPING, REFER TO GENERAL NOTE #3 ABOVE. SALVAGE EXISTING HOT WATER RECIRCULATION PUMP AND RE-INSTALL DURING NEW WORK PHASE.
- 4 NEW DOMESTIC WATER SERVICE MAIN PIPING.
- 5 SHUT OFF VALVE LOCATIONS.
- 6 BUILDING ISOLATION VALVE IN THE VERTICAL.
- 7 NEW 1 INCH COLD WATER PIPING ROUTED THROUGH EXISTING CHASE UP TO PENTHOUSE TO SUPPLY EXISTING WATER HEATER.
- 8 NEW 1 INCH DOMESTIC HOT WATER PIPING LOOP ROUTED ABOVE CEILING.
- 9 NEW 2 INCH DOMESTIC COLD WATER MAIN ABOVE CEILING SERVING BUILDING. ROUTE PARALLEL WITH NEW DOMESTIC HOT WATER PIPING LOOP.
- 10 CONTINUATION BEYOND THIS POINT NOT IN SCOPE.



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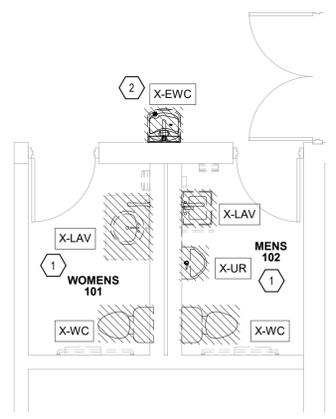
Sheet Title
PLUMBING DOMESTIC WATER

GENERAL NOTES

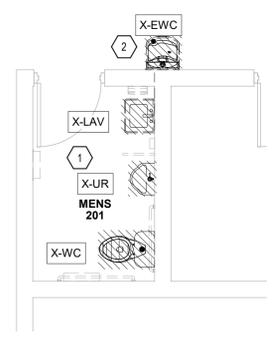
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3. TO MINIMIZE DAMAGE TO EXISTING STRUCTURE AND FINISHES, PORTIONS OF THE EXISTING DOMESTIC WATER SYSTEM MAY BE DRAINED, CAPED AND ABANDONED IN PLACE. CONTRACTOR SHALL CONFIRM AND COORDINATE WITH OWNER AND ARCHITECT ALL AREAS PROPOSED TO BE ABANDONED IN PLACE PRIOR TO BEGINNING OF DEMOLITION AND NEW WORK.

KEYED NOTES

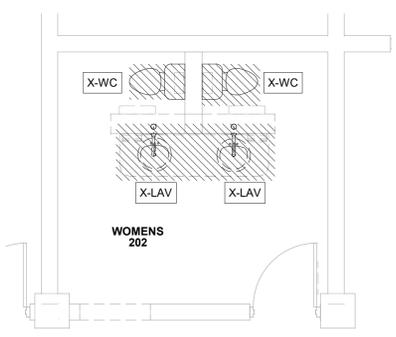
- 1 SITE CLEAR EXISTING PLUMBING FIXTURES, DEMOLISH ASSOCIATED DCW AND DHW PIPING. CONTRACTOR SHALL REFER TO GENERAL NOTE #3 AND APPLY AS APPROPRIATE.
- 2 SITE CLEAR EXISTING WATER COOLER, DEMOLISH ASSOCIATED DCW PIPING. CONTRACTOR SHALL REFER TO GENERAL NOTE #3 AND APPLY AS APPROPRIATE.
- 3 UPON COMPLETION OF NEW WORK, CONTRACTOR SHALL PATCH AND MATCH WALLS/FLOOR TO EXISTING.
- 4 NEW 1/2 INCH DOMESTIC WATER (COLD & HOT) PIPING SERVING LAVATORY (LAV-1) IN MENS 201 ON SECOND FLOOR ABOVE.
- 5 NEW 1 INCH DOMESTIC COLD WATER PIPING SERVING WATER CLOSET (WC-1) IN MENS 201 ON SECOND FLOOR ABOVE.
- 6 WATER HAMMER ARRESTORS IN THE VERTICAL AT THE END OF DCW AND DHW RISERS SERVING LAVATORIES (LAV-1) AND WATER CLOSETS (WC-1) IN WOMENS 202 AND MENS 203.
- 7 WATER HAMMER ARRESTORS IN THE DCW AND DHW BRANCHES SERVING LAVATORIES (LAV-1) AND WATER CLOSETS (WC-1) IN WOMENS 101& MENS 102 AND MENS 201, REPECTIVELY.



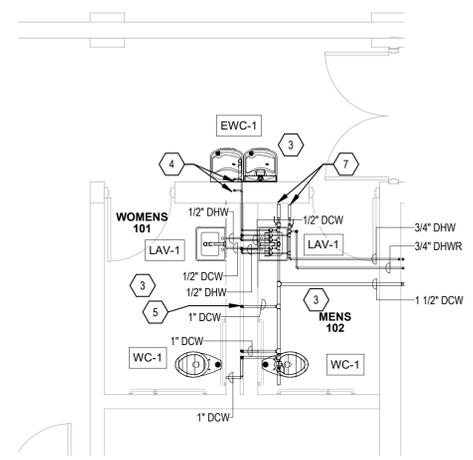
1 PLUMBING DEMOLITION - WOMENS 101 & MENS 102
P2.2 SCALE: 1/4" = 1'-0"



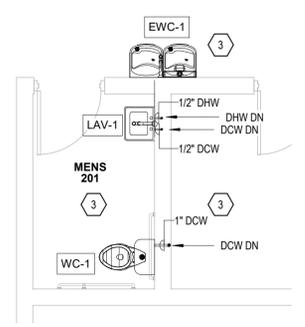
3 PLUMBING DEMOLITION - MENS 201
P2.2 SCALE: 1/4" = 1'-0"



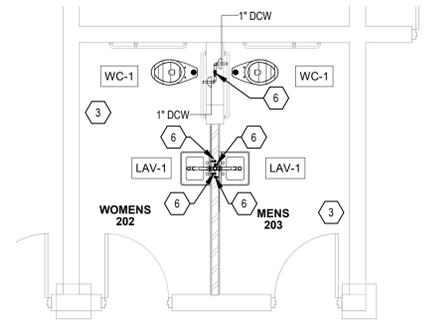
5 PLUMBING DEMOLITION - WOMENS 202
P2.2 SCALE: 1/4" = 1'-0"



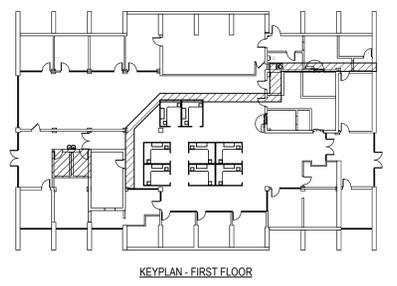
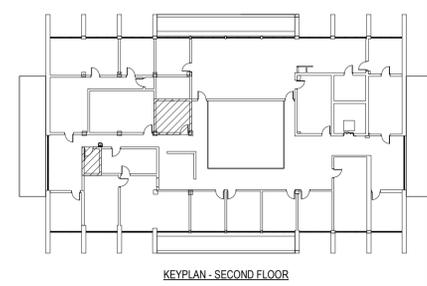
2 PLUMBING - WOMENS 101 & MENS 102
P2.2 SCALE: 1/4" = 1'-0"



4 PLUMBING - MENS 201
P2.2 SCALE: 1/4" = 1'-0"



6 PLUMBING - WOMENS 202 & MENS 203
P2.2 SCALE: 1/4" = 1'-0"



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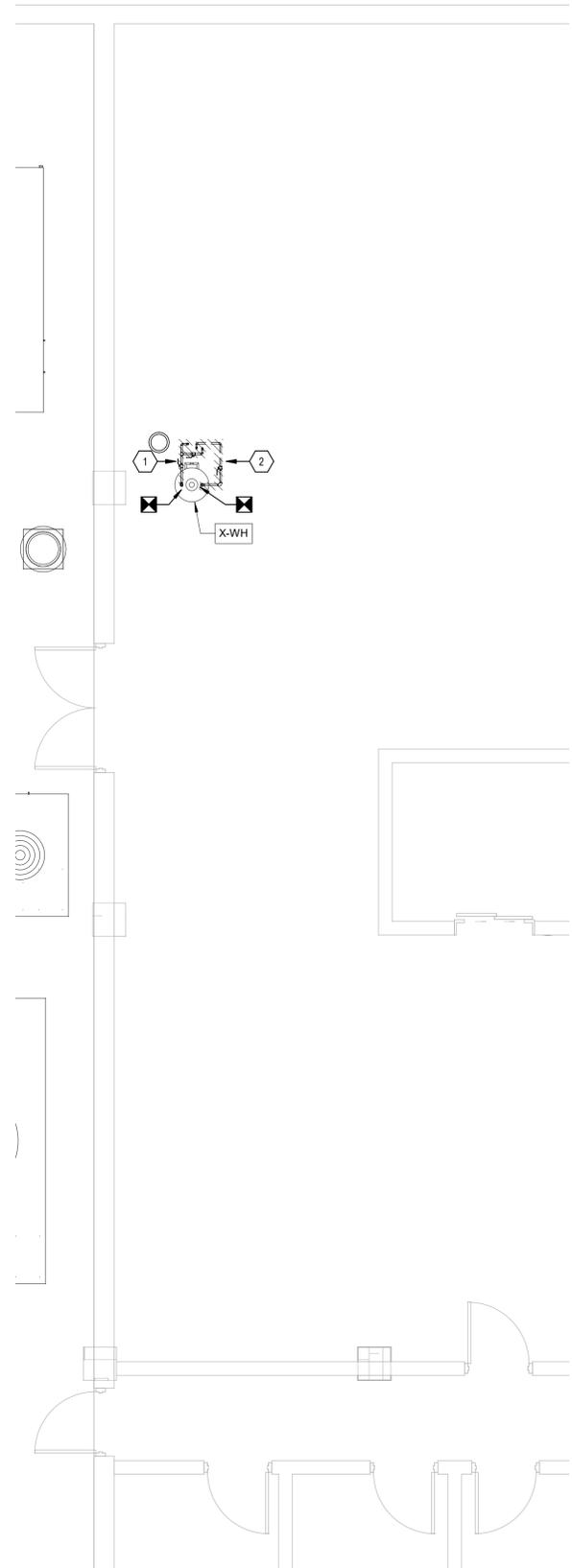
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Date	Project No.	
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<p>Sheet Title PLUMBING DOMESTIC WATER - ENLARGED PLANS</p>		

GENERAL NOTES

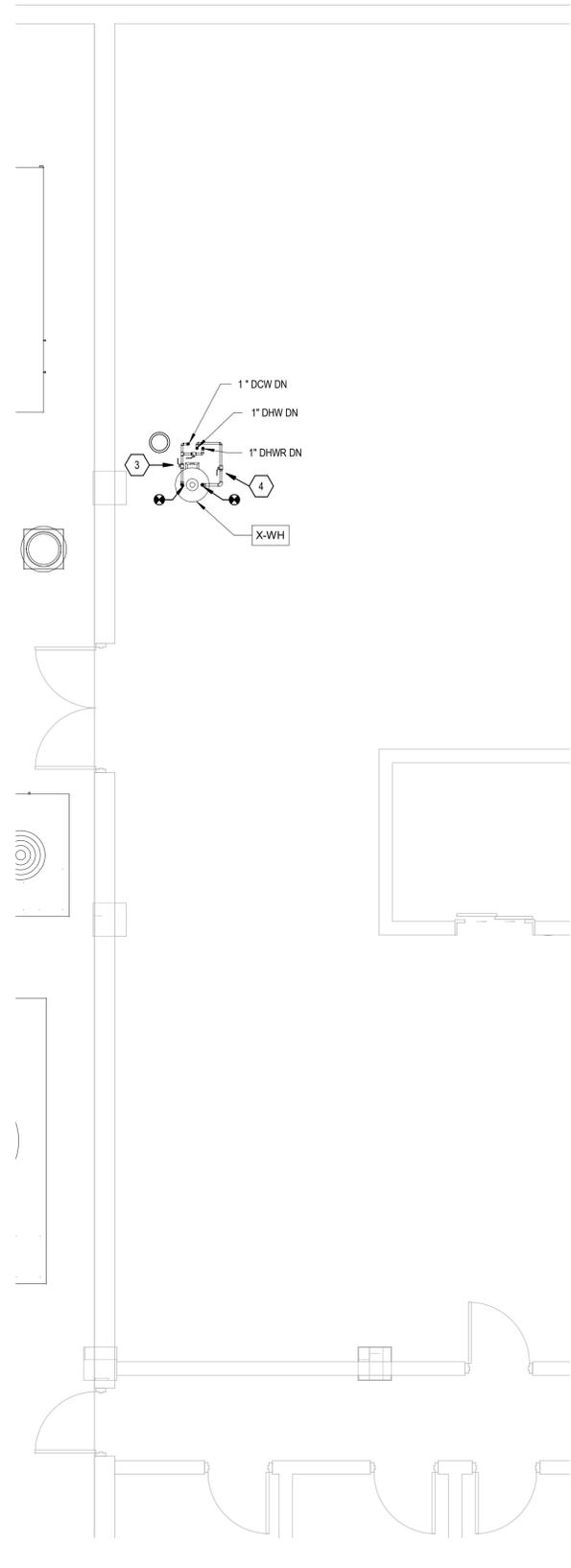
1. PLUMBING CONTRACTOR SHALL NOTE AND RECORD EXISTING DOMESTIC COLD WATER, WASTE, AND VENT PIPING SIZES AND LOCATIONS IN ORDER TO FACILITATE NEW WORK. ANY HIDDEN DEFICIENCIES SHALL BE NOTED AND OWNER SHALL BE INFORMED. THE EXISTING CONDITIONS REPRESENTED ON THESE PLANS ARE BASED ON THE ORIGINAL PLUMBING DRAWINGS PROVIDED BY OWNER AND ARE, TO THE ENGINEER'S KNOWLEDGE, CORRECT LESS ANY MODIFICATIONS MADE TO THE BUILDING AFTER ITS ORIGINAL CONSTRUCTION.
2. THE BUILDING WILL BE IN USE DURING CONSTRUCTION AND THUS THE CONTRACTOR SHALL MAKE EVERY EFFORTS TO MINIMIZE IMPACT TO BUILDING OPERATIONS DURING DEMOLITION AND NEW WORK. COORDINATE ANY REQUIRED PHASING AND AFTER HOURS WORK WITH OWNER THAT WOULD BE REQUIRED.
3. TO MINIMIZE DAMAGE TO EXISTING STRUCTURE AND FINISHES, PORTIONS OF THE EXISTING DOMESTIC WATER SYSTEM MAY BE DRAINED, CAPED AND ABANDONED IN PLACE. CONTRACTOR SHALL CONFIRM AND COORDINATE WITH OWNER AND ARCHITECT ALL AREAS PROPOSED TO BE ABANDONED IN PLACE PRIOR TO BEGINNING OF DEMOLITION AND NEW WORK.

KEYED NOTES

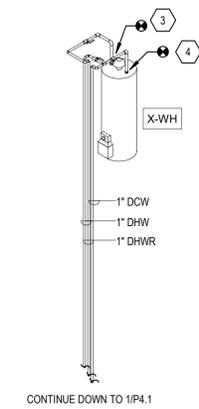
1. SITE CLEAR EXISTING DOMESTIC COLD WATER PIPING SUPPLYING EXISTING HOT WATER HEATER. BASED ON ACCESSIBILITY OF PIPING, REFER TO GENERAL NOTE #3 ABOVE.
2. SITE CLEAR EXISTING DOMESTIC HOT WATER AND HOT WATER RETURN PIPING. BASED ON ACCESSIBILITY OF PIPING, REFER TO GENERAL NOTE #3 ABOVE.
3. CONNECT NEW DOMESTIC COLD WATER PIPING TO EXISTING HOT WATER HEATER.
4. CONNECT NEW DOMESTIC HOT WATER AND HOT WATER RETURN PIPING TO EXISTING HOT WATER HEATER. RECONNECT RECIRCULATION PUMP SALVAGED DURING DEMOLITION PHASE.



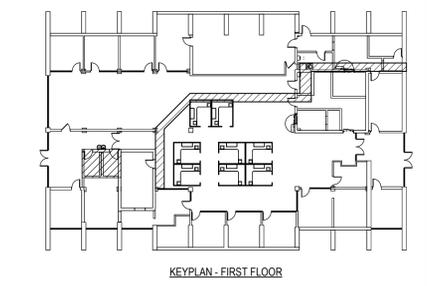
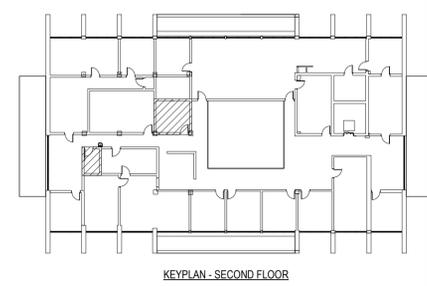
2 PLUMBING DEMOLITION - PENTHOUSE - ENLARGED PLAN
SCALE: 1/4" = 1'-0"



1 PLUMBING - PENTHOUSE - ENLARGED PLAN
SCALE: 1/4" = 1'-0"



3 DOMESTIC WATER RISER DIAGRAM - PENTHOUSE
SCALE:



<p>GENERAL NOTE: Prior to construction start, Contractor shall verify & be responsible for all Dimensions.</p>		
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Date	Project No.	
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Drawn By	Sheet No.	
SES	P2.3	
Checked By		
MGS		
<p>Sheet Title PLUMBING DOMESTIC WATER - ENLARGED PLANS</p>		

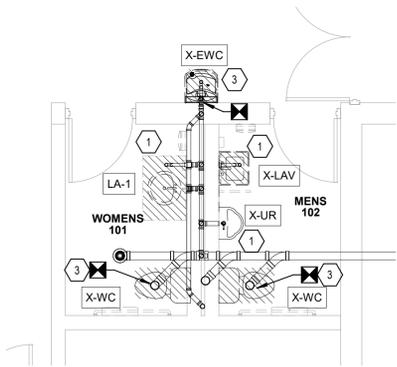


GENERAL NOTES

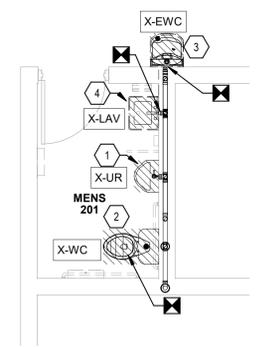
1. PLUMBING CONTRACTOR SHALL NOTE AND RECORD EXISTING DOMESTIC COLD WATER, WASTE, AND VENT PIPING SIZES AND LOCATIONS IN ORDER TO FACILITATE NEW WORK. ANY HIDDEN DEFICIENCIES SHALL BE NOTED AND OWNER SHALL BE INFORMED. THE EXISTING CONDITIONS REPRESENTED ON THESE PLANS ARE BASED ON THE ORIGINAL PLUMBING DRAWINGS PROVIDED BY OWNER AND ARE, TO THE ENGINEER'S KNOWLEDGE, CORRECT LESS ANY MODIFICATIONS MADE TO THE BUILDING AFTER ITS ORIGINAL CONSTRUCTION.
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KEYED NOTES

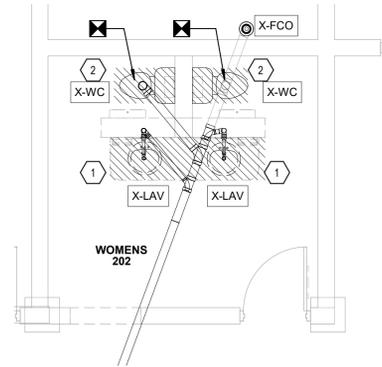
- 1 SITE CLEAR EXISTING LAVATORIES AND URINALS. DEMO WASTE & VENT PIPING SERVING FIXTURE BACK TO MAIN AND CAP.
- 2 SITE CLEAR EXISTING WATER CLOSET. REUSE EXISTING WASTE AND VENT CONNECT.
- 3 SITE CLEAR EXISTING WATER COOLER. REUSE EXISTING WASTE AND VENT CONNECT.
- 4 SITE CLEAR EXISTING LAVATORY. REUSE EXISTING WASTE AND VENT CONNECT.
- 5 NEW LAVATORY (LAV-1); CONNECT TO EXISTING WASTE & VENT PIPING MAINS.
- 6 NEW LAVATORY (LAV-1); CONNECT TO EXISTING WASTE CONNECTION
- 7 NEW WATER CLOSET (WC-1); TIE INTO EXISTING WASTE CONNECTION.
- 8 NEW HI/LO WATER COOLER (EWC-1); CONNECT TO EXISTING WASTE CONNECTION
- 9 UPON COMPLETION OF NEW WORK, CONTRACTOR SHALL PATCH AND MATCH WALLS/FLOOR TO EXISTING.



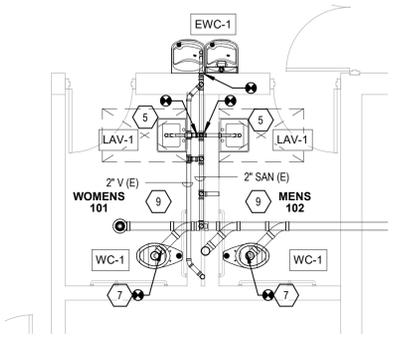
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P3.1 SCALE: 1/4" = 1'-0"



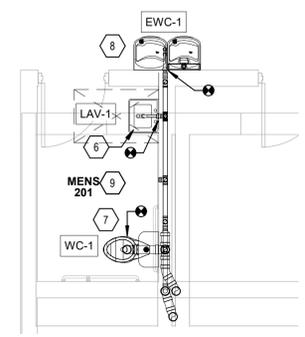
2 PLUMBING DEMOLITION - WASTE & VENT - MENS 201
P3.1 SCALE: 1/4" = 1'-0"



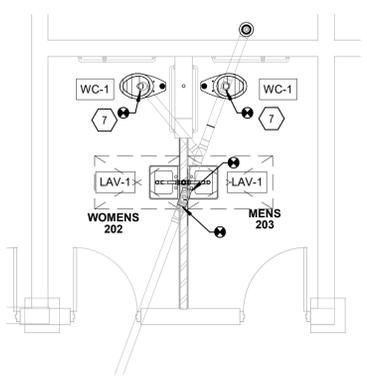
3 PLUMBING DEMOLITION - WASTE & VENT - WOMENS 202
P3.1 SCALE: 1/4" = 1'-0"



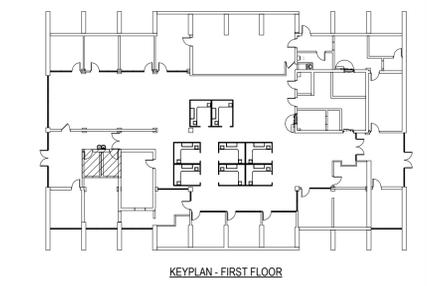
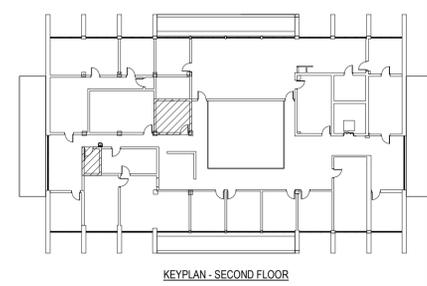
4 PLUMBING - WASTE & VENT - WOMENS 101 & MENS 102
P3.1 SCALE: 1/4" = 1'-0"



5 PLUMBING - WASTE & VENT - MENS 201
P3.1 SCALE: 1/4" = 1'-0"



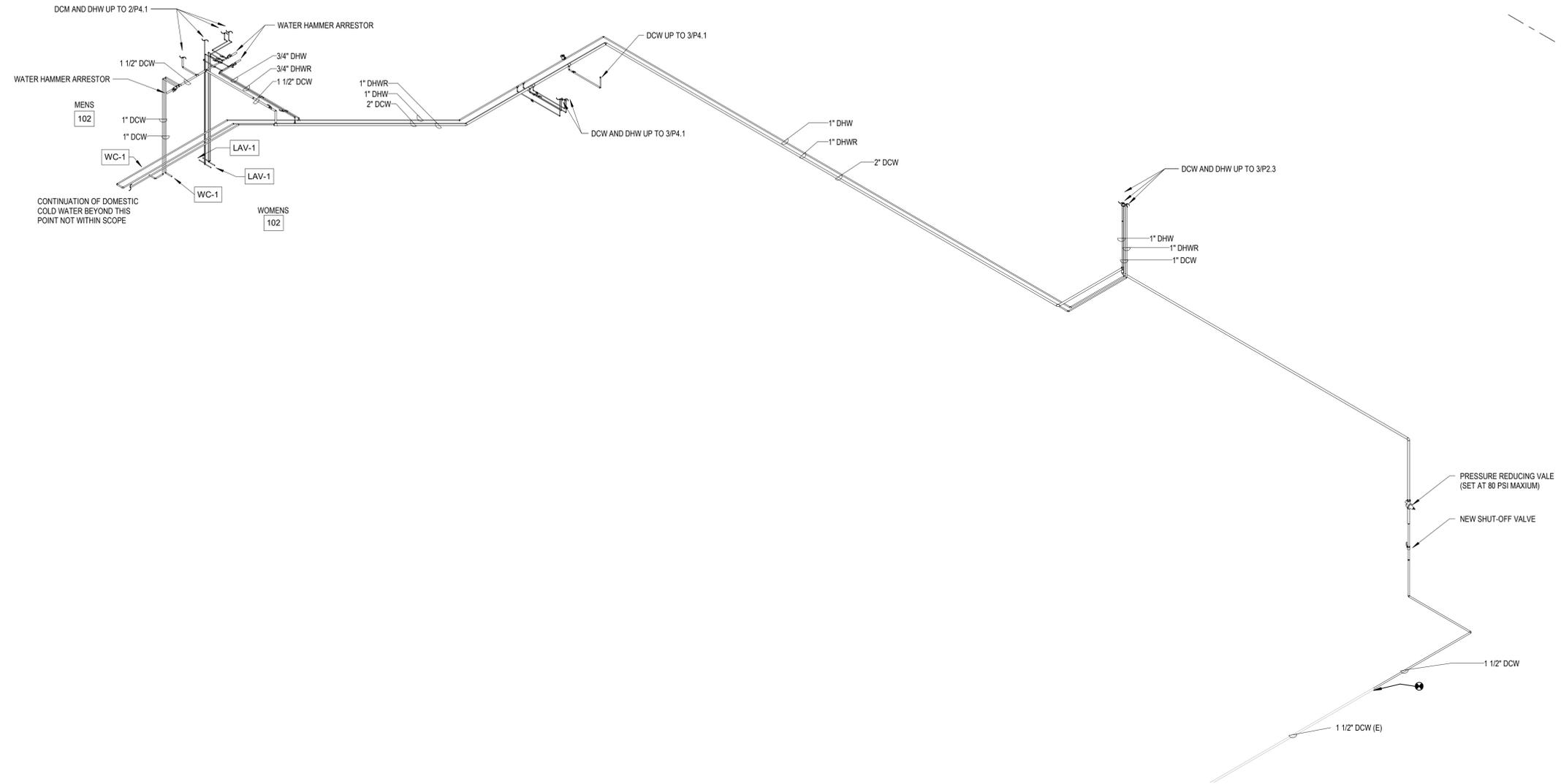
6 PLUMBING - WASTE & VENT - WOMENS 202 & MENS 203
P3.1 SCALE: 1/4" = 1'-0"



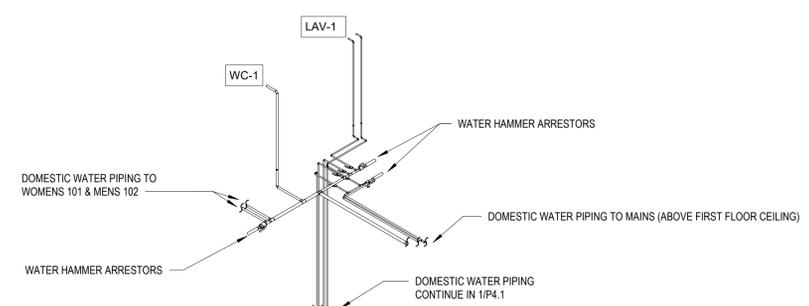
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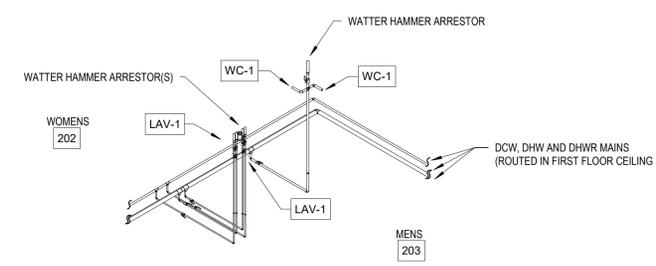
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1 DOMESTIC WATER RISER DIAGRAM - FIRST FLOOR
P4.1 SCALE:



2 DOMESTIC WATER RISER DIAGRAM - MENS 201
P4.1 SCALE:

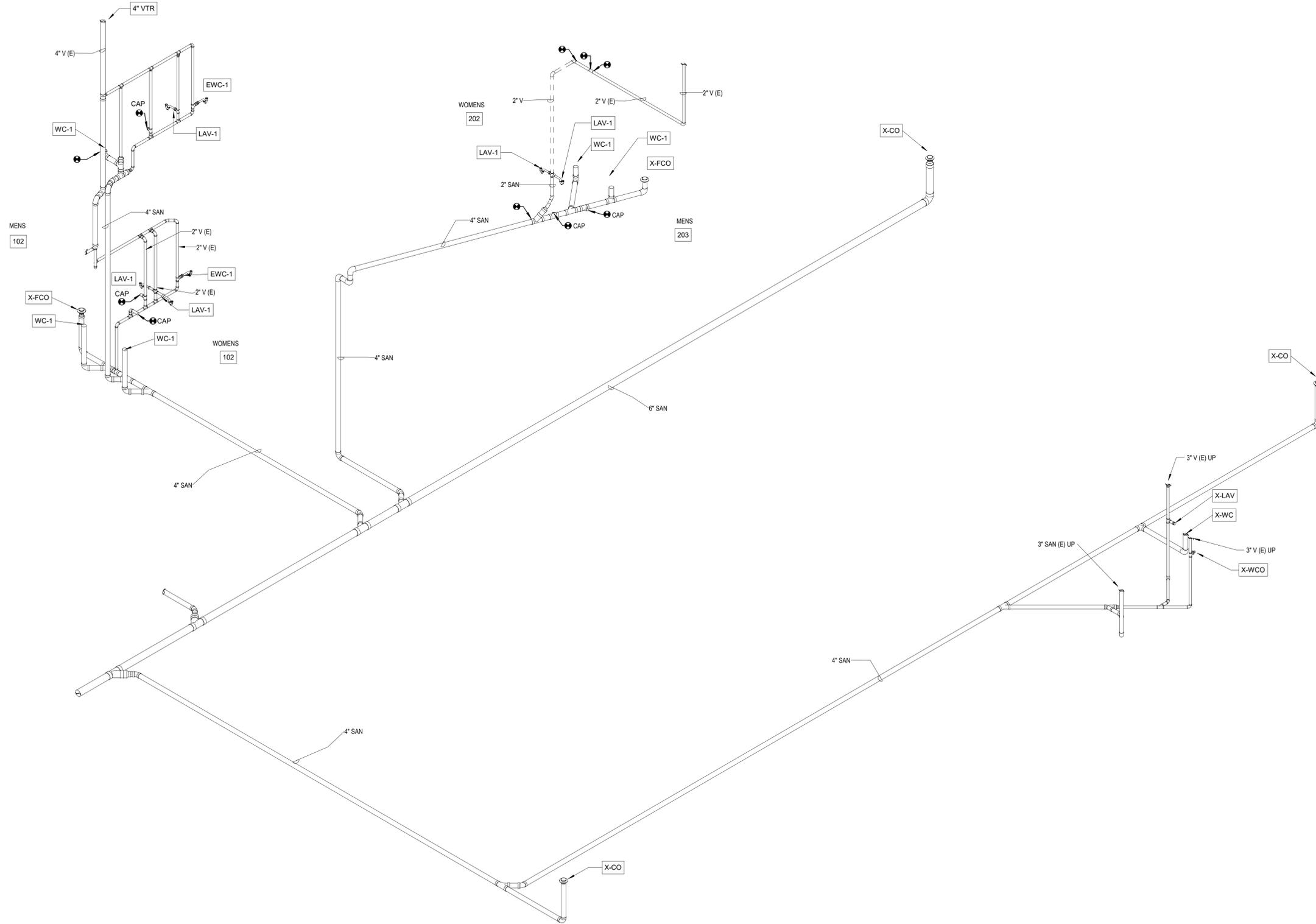


3 DOMESTIC WATER RISER DIAGRAM - WOMENS 202 & MENS 203
P4.1 SCALE:

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Checked By	MGS		

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1 WASTE & VENT RISER DIAGRAM - FIRST FLOOR
P4.2 SCALE:

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Date	Project No.
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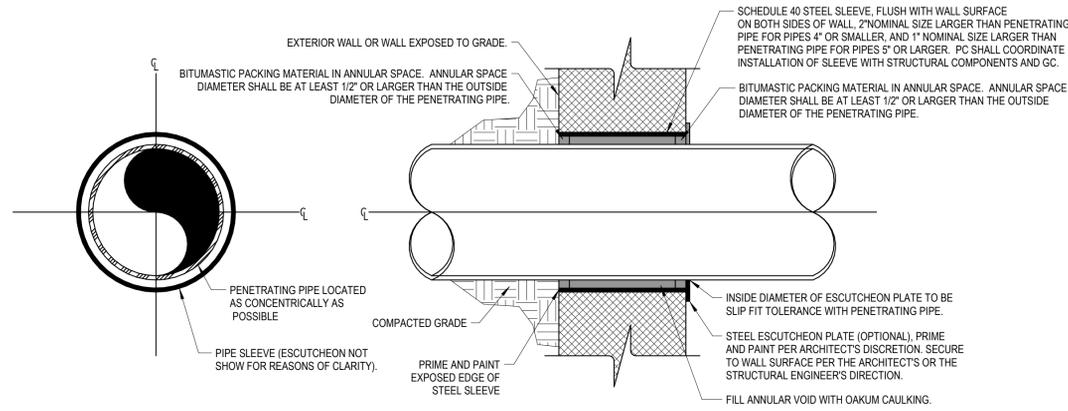
Sheet Title
PLUMBING RISER DIAGRAMS - WASTE & VENT

TOILET RENOVATION AND RE-ROOFING PLANS FOR:

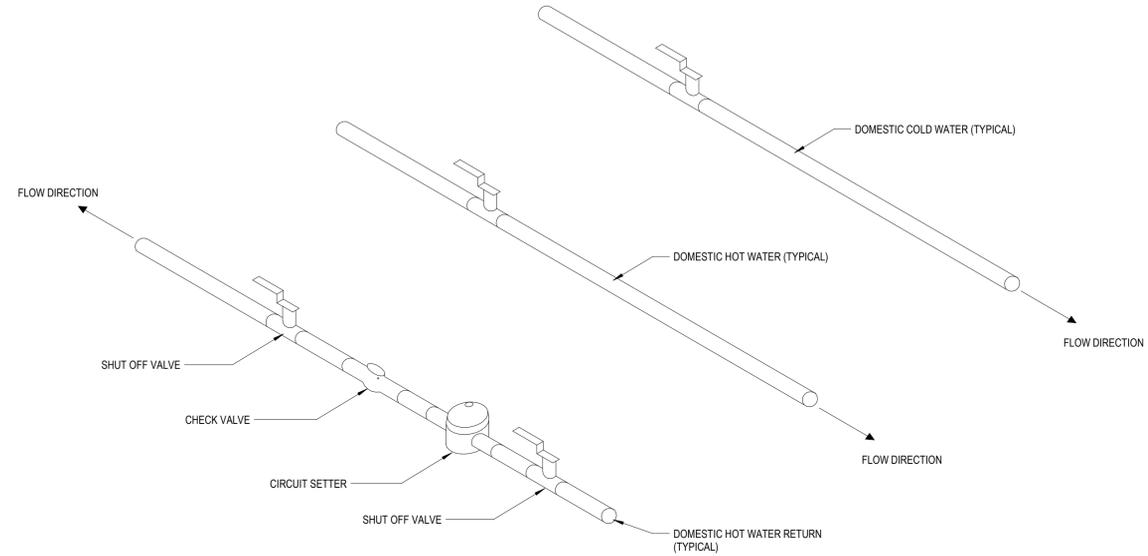
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804



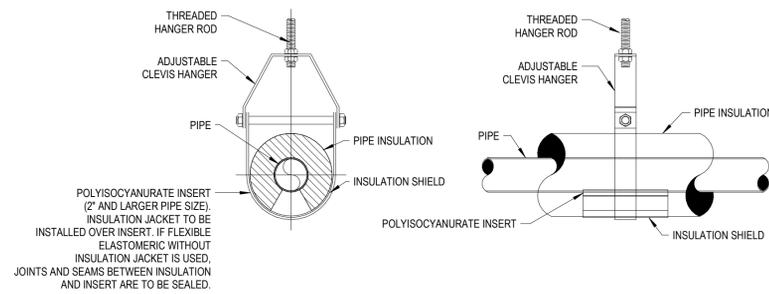
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1111 Haynes Street, Suite 109, Raleigh, NC 27604 | P 919.985.7700



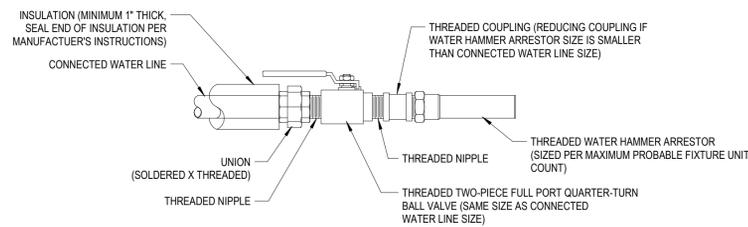
1 BELOW GRADE WALL PENETRATION1
 P5.1 SCALE: 12" = 1'-0"



2 BRANCH CONNECTION DETAIL
 P5.1 SCALE: 12" = 1'-0"



3 CLEVIS PIPE HANGER
 P5.1 SCALE: NOT TO SCALE



NOTE: INSTALL ACCEPTABLE MEANS OF PIPE SUPPORTS MAXIMUM OF 1'-6" FROM CENTERLINE OF BALL VALVE

5 WATER HAMMER ARRESTOR
 P5.1 SCALE: NOT TO SCALE

GENERAL NOTE:
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Revisions	Description	Date
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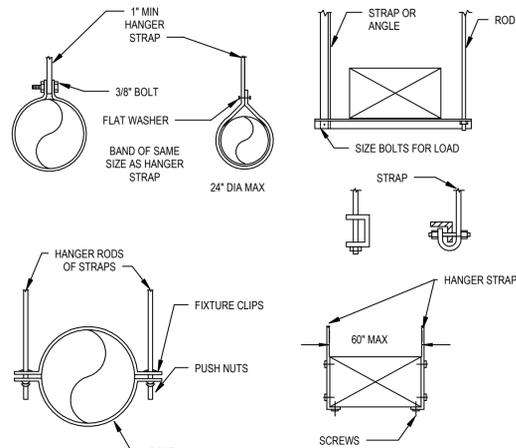
Date	Project No.
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Sheet Title
 PLUMBING DETAILS

DIFFUSER/GRILLE SCHEDULE								
MARK	MANUFACTURER	MODEL	SERVICE	FACE	NECK	MAX CFM	MAX PD (IN.H2O)	MAX NC
A7	PRICE	PDF	CEILING SUPPLY	12"X12"	6"ø	125	0.1	20
F1	PRICE	630	EXHAUST GRILLE	12"X8"	10"X6"	175	0.1	20

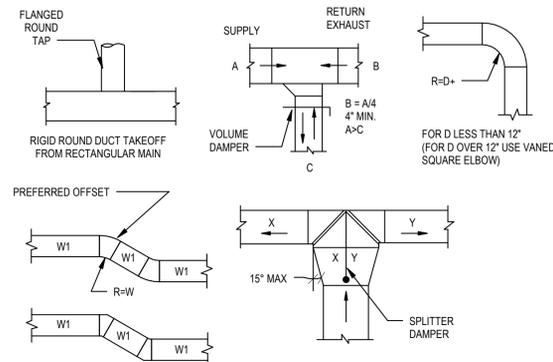
NOTES:

- DUCT RUN-OUT TO DIFFUSER SHALL BE THE SAME AS NECK SIZE, UNLESS OTHERWISE INDICATED ON PLANS.
- DIFFUSERS/GRILLES INTALLED IN HARD CEILINGS MUST INCLUDE ADJUSTABLE VOLUME CONTROL DAMPER.



- NOTES:
- REINFORCEMENT MAY BE USED FOR ATTACHMENT IF IT QUALIFIES FOR BOTH DUTIES. DO NOT EXCEED ALLOWABLE LOAD LIMITS.
 - DO NOT EXCEED ALLOWABLE LOAD LIMITS.

1 TYPICAL DUCT HANGER DETAILS
M.O. SCALE: 1" = 1'-0"



2 LOW PRESSURE DUCTWORK DETAIL
M.O. SCALE: 1" = 1'-0"

MECHANICAL HVAC LEGEND

	SUPPLY AIR DUCT SECTION
	RETURN AIR DUCT SECTION
	EXHAUST AIR DUCT SECTION
	SQUARE SHEETMETAL DUCTWORK (DIMENSIONS ARE IN INCHES)
	ROUND SHEETMETAL DUCTWORK (DIMENSIONS ARE IN INCHES)
	DEMOLISHED DUCT
	INTERNAL DUCT LINING
	TRANSITION
	SQUARE-TO-ROUND TRANSITION
	CHANGE IN ELEVATION OF DUCTWORK - D = DROP, R = RISE
	DUCT TURNING UP
	DUCT TURNING DOWN
	SQUARE ELBOW WITH MULTIPLE TURNING VANES
	ROUND ELBOW - (R = 1.5'D)
	SPIN-IN FITTING WITH SCOOP EXTRACTOR AND BALANCING DAMPER WITH LOCKING QUADRANT
	FLEXIBLE DUCT
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE OR REGISTER
	EXHAUST AIR GRILLE OR REGISTER
	LINEAR SLOT DIFFUSER
	SUPPLY DIFFUSER (SIDEWALL OR DUCT MOUNTED)
	RETURN GRILLE OR REGISTER (SIDEWALL OR DUCT MOUNTED)
	DIFFUSER SYMBOL - LETTER=TYPE, NUMBER=CFM
	FIRE DAMPER
	MANUAL OPERATED DAMPER
	MOTOR OPERATED DAMPER
	DUCT MOUNTED SMOKE DETECTOR
	NEW THERMOSTAT (INSTALL 48" AFF)
	EXISTING TO RELOCATE THERMOSTAT (INSTALL 48" AFF)
	EXISTING THERMOSTAT TO REMAIN (INSTALL 48" AFF)
	THERMOSTAT TO BE DEMOLISHED
	HUMIDISTAT (INSTALL 48" AFF)
	HYDROGEN MONITOR (INSTALL 48" AFF)
	KEYED NOTE NUMBER
	REMOVE TO THIS POINT
	CONNECT NEW TO EXISTING

MECHANICAL ABBREVIATIONS

ABBREVIATION	NAME
AC-1	WALL MOUNTED AIR CONDITIONING UNIT AND NUMBER
AC/HR	AIR CHANGES PER HOUR
AFF	ABOVE FINISHED FLOOR
AHU-1	AIR HANDLING UNIT AND NUMBER
AMCA	AIR MOVEMENT AND CONTROL ASSOCIATION
ANSI	AMERICAN NATIONAL STANDARD ASSOCIATION
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
ASHRAE	AMERICAN SOCIETY HEATING, REFRIGERATING, AND AIR CONDITIONING ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
BOD	BOTTOM OF DUCT
BTU	BRITISH THERMAL UNIT
BTUH	BRITISH THERMAL UNIT PER HOUR
CFM	CUBIC FEET PER MINUTE
CLG	CEILING
CONT	CONTINUATION
CONST.	CONSTRUCTION
CONTR.	CONTRACTOR
COORD.	COORDINATE
DB	DRY BULB
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
E.C.	ELECTRICAL CONTRACTOR
EAT	ENTERING AIR TEMPERATURE
EF-1	EXHAUST FAN AND NUMBER
EFF	EFFICIENCY
EQUIP	EQUIPMENT
ESP	EXTERNAL STATIC PRESSURE
EWT	ENTERING WATER TEMPERATURE
FPM	FEET PER MINUTE
GC	GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
HOA	HAND OFF AUTOMATIC
HP	HORSEPOWER
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
ID	INSIDE DIAMETER
IN	INCH
KW	KILOWATT
LAT	LEAVING AIR TEMPERATURE
LB	POUNDS
LB/HR	POUNDS PER HOUR
LWT	LEAVING WATER TEMPERATURE
MAX	MAXIMUM
MBH	1,000 BTU PER HOUR
MC	MECHANICAL CONTRACTOR
MIN	MINIMUM
MTD	MOUNTED
N/A	NOT APPLICABLE
NC	NORMALLY CLOSED
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OA	OUTSIDE AIR
OC	PLUMBING CONTRACTOR
OD	OUTSIDE DIAMETER
OPNG	OPENING
P-1	PUMP AND NUMBER
PSI	POUNDS PER SQUARE INCH
QTY	QUANTITY
RA	RETURN AIR
REQ'D	REQUIRED
RH	RELATIVE HUMIDITY
RPM	REVOLUTIONS PER MINUTES
SA	SUPPLY AIR
SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
SPEC	SPECIFICATION
TEMP	TEMPERATURE
TSTAT	THERMOSTAT
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VAV	VARIABLE AIR VOLUME
VSD	VARIABLE SPEED DRIVE
W/	WITH
W/O	WITHOUT
WB	WET BULB
ø	ROUND OR DIAMETER

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TOILET RENOVATION AND RE-ROOFING PLANS FOR:
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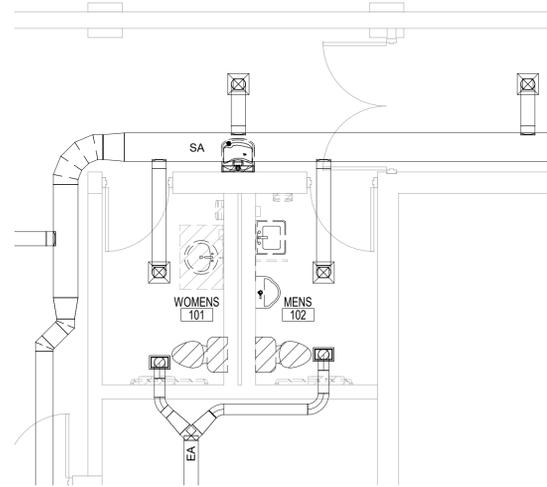
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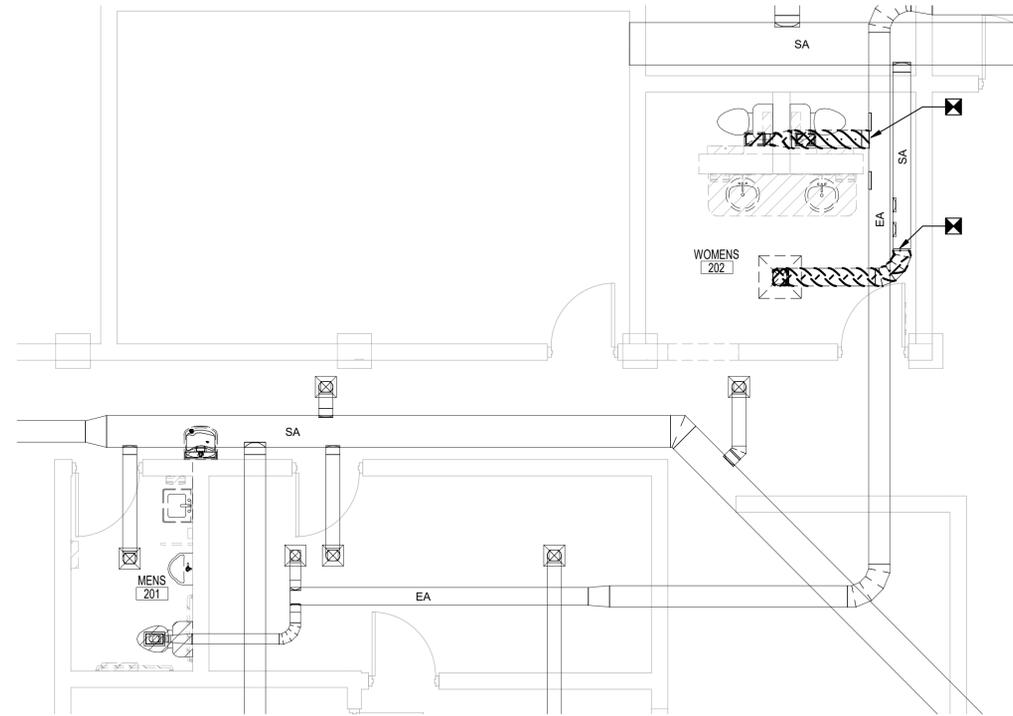
Date	Project No.
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MECH LEGENDS, ABBREVIATIONS, SCHEDULES, AND NOTES

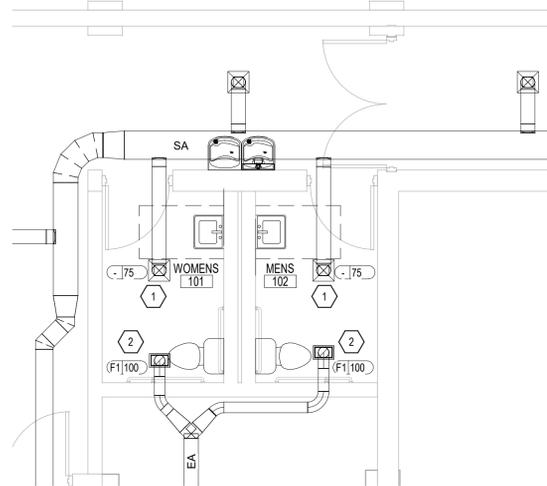
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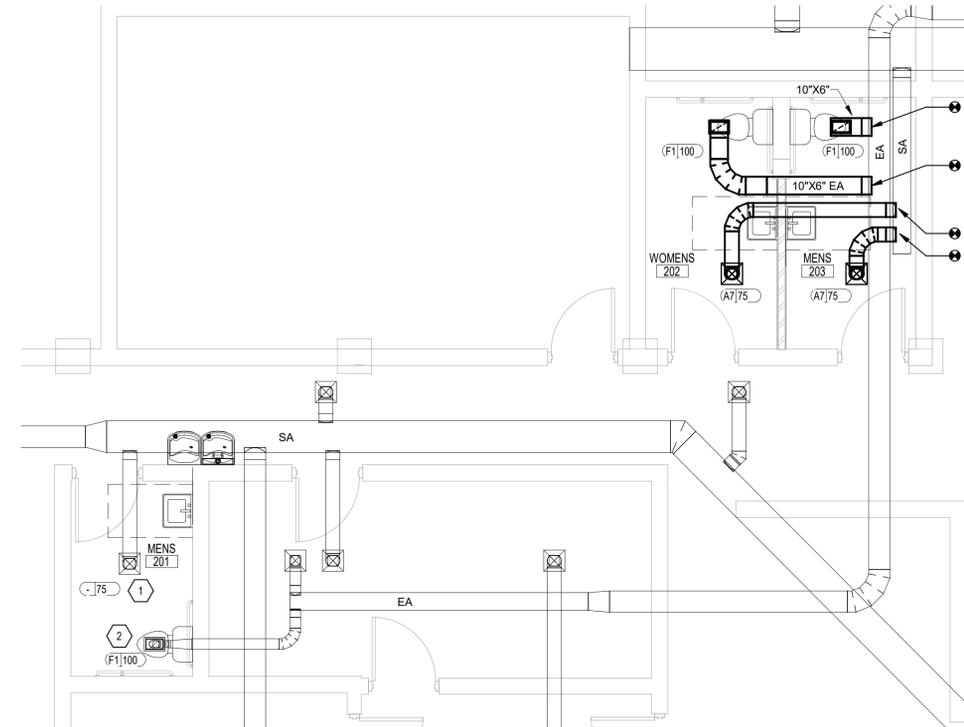
1 MECHANICAL DEMOLITION - FIRST FLOOR
M1.1 SCALE: 1/4" = 1'-0"



3 MECHANICAL DEMOLITION - SECOND FLOOR
M1.1 SCALE: 1/4" = 1'-0"



2 MECHANICAL NEW WORK - FIRST FLOOR
M1.1 SCALE: 1/4" = 1'-0"



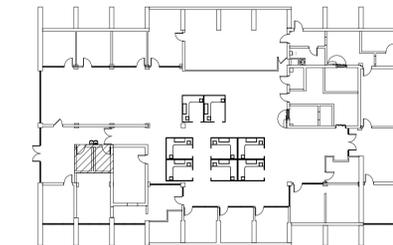
4 MECHANICAL NEW WORK - SECOND FLOOR
M1.1 SCALE: 1/4" = 1'-0"

GENERAL NOTES:

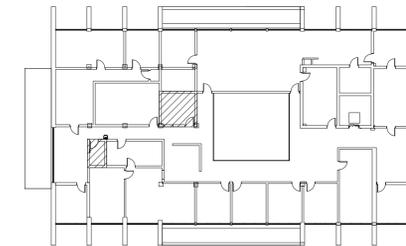
- LOCATIONS WHERE DUCT IS DEMOLISHED OR REMOVED SHALL BE CAPPED AND SEALED.

NOTES KEYED TO PLAN

- SUPPLY AIRFLOW SHOWN IS BASED ON VALUES INDICATED IN EXISTING CONSTRUCTION DOCUMENTS. REBALANCE AIR TERMINAL AS NEEDED TO ENSURE THE MINIMUM AIRFLOW SHOWN IS ACHIEVED.
- REBALANCE EXHAUST AIR TERMINAL AS NEEDED TO ACHIEVE MINIMUM AIRFLOW INDICATED. EXHAUST AIRFLOW MUST BE AT LEAST 25 CFM GREATER THAN SUPPLY AIRFLOW.



KEYPLAN - FIRST FLOOR

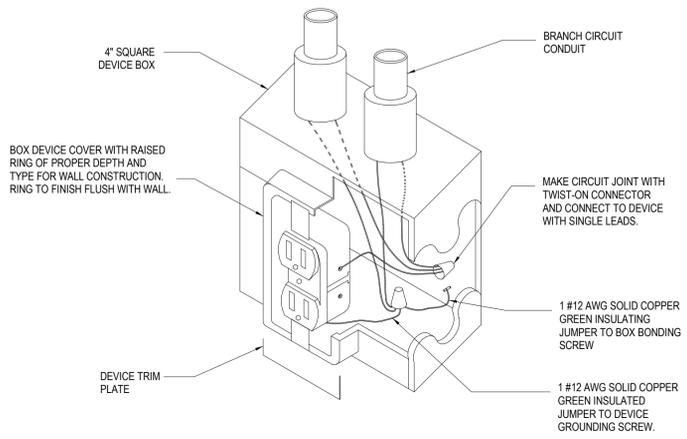


KEYPLAN - SECOND FLOOR

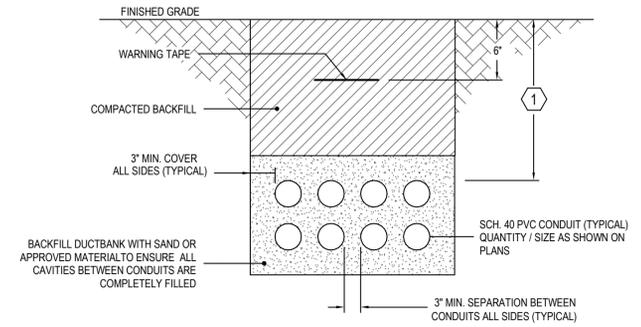
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1 RECEPTACLE GROUNDING DETAIL
E0.1 SCALE: NOT TO SCALE



2 DIRECT BURIAL CONDUIT DETAIL
E0.1 SCALE: NOT TO SCALE

NOTES KEYED TO DETAIL

- BELOW GRADE CONDUIT DEPTHS NOTED BELOW ARE A MINIMUM BASED ON NEC TABLE 300.5. ACTUAL DEPTHS WILL VARY BASED ON LOCATION AND COORDINATION WITH UNDERGROUND SITE UTILITIES. HOWEVER, AT NO POINT SHALL THE DEPTH OF THE BELOW GRADE CONDUIT BE SHALLOWER THAN DESCRIBED BELOW:
 - BELOW BUILDING: MINIMUM COVER - 0"
 - IN TRENCH COVERED BY MIN. 2" THICK CONCRETE: MINIMUM COVER - 12"
 - UNDER MINIMUM OF 4" THICK CONCRETE SLAB WITH NO VEHICLE TRAFFIC AND THE SLAB EXTENDING NOT LESS THAN 6" BEYOND THE UNDERGROUND INSTALLATION - 4"
 - UNDER STREETS, HIGHWAYS, ROADS, ALLEYS, DRIVEWAYS AND PARKING LOTS - 24"
 - ALL OTHER LOCATIONS: 18"

PLUMBING/ELECTRICAL EQUIPMENT SCHEDULE

EQUIPMENT DESIGNATION	EQUIPMENT DESCRIPTION	EQUIPMENT FURNISHED BY	VOLTAGE/ PHASE	KW	HP	DISCONNECT FURNISHED BY	STARTER FURNISHED BY	CONTROLS	REMARKS
EW-1	ELECTRIC WATER COOLER W/BOTTLE FILLER	PLUMBING CONTRACTOR	115V	.69KW	-	EC	N/A	W/EQUIP	ELKAY, MODEL LZSTL8WVSRVK
LAV-1	AUTOMATIC FAUCET FOR LAVATORY	PLUMBING CONTRACTOR	120V	-	-	EC	N/A	W/EQUIP	MOEN, MODEL CA8301
WC-1	AUTOMATIC FLUSH VALVE FOR WATER CLOSET	PLUMBING CONTRACTOR	120V	-	-	EC	N/A	W/EQUIP	SLOAN, MODEL 111-ESS-1.28-DFB-OR-HW

LIGHT FIXTURE SCHEDULE

FIXTURE TYPE	DESCRIPTION	MOUNTING	VOLTS/ WATTS	LIGHT SOURCE			MFR.	SERIES NO.	REMARK
				MIN. LUMEN OUTPUT	TYPE	TEMP.			
A	2' x 2' LED RECESSED FIXTURE	RECESSED	120/13	2000	LED	4000K	ACUITY LIGHTING OR EQUAL	SPX 22 SERIES OR EQUAL	PROVIDE APPROPRIATE HARDWARE / ADAPTERS FOR MOUNTING IN HARD CEILING.
B	2'-0" LED SQUARE VANITY FIXTURE	WALL MOUNT	120/18	2000	LED	4000K	ACUITY LIGHTING OR EQUAL	TRADITIONAL SQUARE VANITY OR EQUAL	COORDINATE MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGH-IN.

LIGHT FIXTURE SCHEDULE NOTES:

- ALL LIGHTING FIXTURES SHALL BE U.L. LISTED.
- ALL LED FIXTURES SHALL HAVE MINIMUM CRI OF 80 UNLESS SPECIFICALLY NOTED OTHERWISE.
- VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO ROUGH-IN.
- COORDINATE ALL COLORS/FINISH OPTIONS OF LIGHT FIXTURES WITH THE ARCHITECT PRIOR TO PURCHASING.
- ALL LIGHTING FIXTURES INDICATED WITHIN THE LIGHTING FIXTURE SCHEDULE SHALL BE PROVIDED WITH ALL REQUIRED MOUNTING HARDWARE, CONNECTORS AND ANY OTHER NEEDED FIXTURE OPTIONS FOR A COMPLETE AND OPERATIONAL INSTALLATION AS INTENDED ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED COMPONENTS AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE ALL COLOR TEMPERATURES WITH ARCHITECT PRIOR TO PURCHASE / ROUGH-IN.

EQUAL LIGHTING MANUFACTURER NOTE

THE LIGHTING FIXTURES INDICATED WITHIN THIS FIXTURE SCHEDULE ONLY INDICATE THE MINIMAL QUALITY STANDARDS THAT ARE REQUIRED FOR THE FIXTURES THAT ARE TO BE INSTALLED WITHIN THIS FACILITY. SEE SPECIFICATION 265100 FOR ALL ACCEPTABLE MANUFACTURERS.

RACEWAY SYMBOLS

SYMBOL	DESCRIPTION
	CONDUIT CONCEALED IN WALLS OR ABOVE CEILINGS
	UNSWITCHED LIGHTING CIRCUIT
	NEW HOMERUN TO PANELBOARD. LETTERS INDICATE PANELBOARD AND NUMBERS INDICATE CIRCUITS IN PANELBOARD
	CONDUIT BREAK

RENOVATION SYMBOLS

SYMBOL	DESCRIPTION
	DEMOLITION. REFER TO PLANS FOR ADDITIONAL REQUIREMENTS
'ER'	EXISTING DEVICE TO REMAIN
'RE'	EXISTING DEVICE TO BE RELOCATED
'RL'	EXISTING DEVICE RELOCATED

POWER / DATA SYMBOLS

SYMBOL	DESCRIPTION
	WALL MOUNTED DUPLEX RECEPTACLE T - MOUNT HORIZONTALLY ABOVE COUNTER-TOP (CONFIRM FINAL MOUNTING HEIGHT WITH ARCHITECT PRIOR TO ROUGH-IN) GFI - GROUND FAULT CIRCUIT INTERRUPTER
	MOTOR RATED TOGGLE SWITCH. SOD TYPE K OR EQUAL

LIGHT FIXTURE SYMBOLS

SYMBOL	DESCRIPTION
	2'X2' LIGHT FIXTURE. LETTER INDICATES FIXTURE TYPE. SEE LIGHT FIXTURE SCHEDULE FOR DESCRIPTION.
	2'-0" WALL MOUNTED LED VANITY

LIGHTING CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	OCCUPANCY SENSOR. WALL SWITCH MOUNTED (SINGLE GANG BOX), PIR SENSOR, RATED AT 120/277V

GENERAL ELECTRICAL NOTES:

- ALL WORK INDICATED ON DRAWINGS AND SPECIFICATIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL ELECTRICAL CODE, AND THE LOCAL AUTHORITY HAVING JURISDICTION.
- THESE PLANS ARE DIAGRAMMATIC AND SHOW THE GENERAL LOCATION OF DEVICES, EQUIPMENT, ROUTING, ETC. ALL WORK SHALL BE COORDINATED WITH ALL OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL COORDINATE INSTALLATION / ROUTING OF ALL WORK WITH EXISTING CONDITIONS AND OTHER TRADES WORK PRIOR TO ROUGH-IN. CONTRACTOR SHALL PROVIDE ALL NECESSARY ANCILLARY DEVICES REQUIRED FOR A COMPLETE AND COORDINATED INSTALLATION.
- ALL EXISTING INFORMATION SHOWN IS BASED ON NON-DESTRUCTIVE FIELD INVESTIGATION AND / OR EXISTING DRAWING INFORMATION PROVIDED BY THE OWNER. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD OF ANY HIDDEN CONDITIONS FOUND THAT REQUIRE CORRECTIVE ACTION BEYOND THE CONTRACTOR'S SCOPE OF WORK.
- IF THE CONTRACTOR NOTICES THAT NECESSARY INFORMATION IS ABSENT ON DRAWINGS OR IN SPECIFICATIONS, SUCH THAT THE CONTRACTOR IS UNSURE OF MATERIALS, SIZING, OR ROUTING OF SYSTEMS, THEN IT IS IMPERATIVE THAT THE CONTRACTOR CONTACT THE ENGINEER OF RECORD DURING BID OR PRIOR TO ROUGH-IN TO REQUEST CLARIFICATION. IF THE CONTRACTOR PROCEEDS WITH INSTALLATION WITHOUT DIRECTION FROM THE ENGINEER OF RECORD, THEN THE CONTRACTOR ASSUMES ALL COST ASSOCIATED WITH HIS ACTIONS AND RESPONSIBILITY FOR THE FUNCTION OF SYSTEMS.
- ALL PENETRATIONS THROUGH FIRE-RATED WALLS OR FLOORS SHALL BE SEALED IN ACCORDANCE WITH LISTED THROUGH PENETRATION DETAIL APPLICABLE FOR THE PENETRATION TYPE AND WALL / FLOOR CONSTRUCTION ENCOUNTERED. ALL PIPE PENETRATIONS THROUGH NON-RATED WALLS OR FLOORS SHALL BE SEALED WITH THE APPROPRIATE WALL / FLOOR MATERIALS PER THE ARCHITECTURAL SPECIFICATIONS. ALL PIPE PENETRATIONS THROUGH EXTERIOR WALLS SHALL BE SEALED WITH MATERIALS PER THE ARCHITECTURAL SPECIFICATIONS AND WATERPROOFED TO PREVENT MOISTURE FROM ENTERING THE BUILDING. REFER TO PLANS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- WHERE THE WORD 'PROVIDE' IS USED, IT SHALL BE DEFINED TO MEAN THAT THE DEVICE / EQUIPMENT INDICATED SHALL BE 'FURNISHED AND INSTALLED' BY THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- ALL MANUFACTURER'S MINIMUM WORKING CLEARANCE RECOMMENDATIONS SHALL BE MAINTAINED ON ALL EQUIPMENT.
- ALL CONDUIT SHALL BE NEATLY ARRANGED, PROPERLY ALIGNED AND SUPPORTED. CONDUIT SHALL BE KEPT AT LEAST SIX (6) INCHES FROM FLUES, STEAM PIPES, OR HOT WATER PIPES WHERE POSSIBLE.
- CONCEALED CONDUITS SHALL BE RUN IN A DIRECT LINE WITH LONG SWEEP BENDS AND OFFSETS. EXPOSED CONDUITS SHALL BE RUN PARALLEL TO AND AT RIGHT ANGLES TO BUILDING LINES.
- CONDUITS SHALL BE CONTINUOUS FROM OUTLET TO OUTLET, FROM OUTLETS TO CABINETS, PULL OR JUNCTION BOXES AND SHALL BE SECURED TO ALL BOXES WITH LOCKNUTS AND BUSHING IN SUCH A MANNER THAT EACH SYSTEM SHALL BE ELECTRICALLY CONTINUOUS THROUGHOUT.
- WHERE CONDUITS ARE RUN FROM INDOOR TO OUTDOOR CONDUITS SHALL BE SEALED WITH VAPOR SEAL COMPOUND AT THE POINT OF ENTRY INTO THE BUILDING.
- ALL CONDUIT PENETRATIONS THRU ELECTRICAL/MECHANICAL EQUIPMENT ENCLOSURES SHALL BE PROPERLY SEALED SO AS NOT TO VOID THE U.L. LISTING OR INTEGRITY OF THE FACTORY ENCLOSURE.
- CONDUCTORS SHALL BE SOFT-DRAWN COPPER AND THIRD-PARTY LISTED UNLESS OTHERWISE NOTED. WITH INSULATION AND OUTER COVERING AS SPECIFIED. CONDUCTOR SIZES SHALL BE STANDARD AMERICAN WIRE GAUGE SIZES. CONDUCTORS AND EQUIPMENT TERMINALS SHALL BE RATED AT 75 DEGREE CELSIUS. WIRE EQUIPMENT PROVIDED DOES NOT HAVE TERMINALS RATED AT 75 DEGREE CELSIUS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ADJUSTMENTS TO CONDUCTOR AND CONDUIT SYSTEMS ACCORDINGLY BASED ON THE NEC FOR THE EQUIPMENT 'S' RATING.
- UNLESS SPECIFICALLY NOTED OTHERWISE, THE MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCEPT THAT CONTROL WIRING MAY BE #14 AWG OR #16 AWG AS NOTED ON PLANS. ALL CONDUIT (POWER / CONTROL) SHALL BE INSTALLED IN CONDUIT UNLESS SPECIFICALLY NOTED OTHERWISE.
- WHERE CONDUCTORS ARE RUN IN PARALLEL, BOTH CONDUCTORS ARE TO BE TAPPED WHERE BRANCH CIRCUITS ARE TAKEN OFF.
- SPLICING OF CONDUCTORS SHALL BE HELD TO A MINIMUM. CONDUCTOR RUNS LESS THAN 50' IN LENGTH SHALL NOT BE SPLICED. THOSE SPlice CONNECTIONS SHALL BE DOCUMENTED ON DRAWINGS AS TO LOCATION, WIRE TYPE, AND SPlice METHOD. FOR INSPECTION PRIOR TO (PUNCH LIST) CLOSEOUT OF PROJECT.
- ALL CONDUCTORS INTERNAL TO ELECTRICAL EQUIPMENT SHALL BE NEATLY TIE WRAPPED WITH NYLON TIE WRAPS. CONDUCTORS SHALL BE ROUTED PARALLEL & VERTICAL TO ENCLOSURE SIDES. ALL SHARP EDGES ON CUT TIE WRAPS SHALL BE REMOVED.
- ALL EQUIPMENT FEEDERS SHALL BE CONTINUOUS FROM THE DISCONNECT SWITCH TO THE MOTOR / EQUIPMENT TAP BOX. SPLICES SHALL NOT BE ALLOWED.
- HANGERS AND CLAMPS SHALL BE MADE OF DURABLE MATERIALS SUITABLE FOR THE APPLICATION INVOLVED. HANGER ASSEMBLIES SHALL BE PROTECTED BY GALVANIZING, OR OTHER SUITABLE PRESERVATION METHODS TO PREVENT CORROSION. THE REQUIRED STRENGTH OF THE SUPPORTING EQUIPMENT AND SIZE AND TYPE OF ANCHORS SHALL BE BASED ON THE COMBINED WEIGHT OF CONDUIT, HANGER AND CABLES.

GENERAL ELECTRICAL NOTES:

- WHERE AN INDIVIDUALLY MOUNTED SAFETY SWITCH, STARTER, OR CIRCUIT BREAKER IS SHOWN ADJACENT TO ITS RESPECTIVE LOAD AND NOT MOUNTED ON A WALL, PROVIDE ALL SUPPORTS, BRACKET, ANCHORING, ETC. NECESSARY TO PROPERLY SUPPORT THE DEVICE.
- APPROPRIATE GROUNDING LUGS SHALL BE PROVIDED ON ALL ENCLOSURES TO BE GROUNDING.
- EXCEPT WHERE SPECIFICALLY INDICATED OTHERWISE, ALL EXPOSED NON-CURRENT CARRYING METALLIC PARTS OF ELECTRICAL EQUIPMENT, RACEWAY SYSTEMS AND NEUTRAL CONDUCTOR OF THE WIRING SYSTEM SHALL BE GROUNDING.
- EACH RACEWAY FOR ALL POWER SYSTEMS AND BRANCH CIRCUITS SHALL HAVE A SEPARATE GROUNDING CONDUCTOR. THE RACEWAY SYSTEM SHALL NOT BE RELIED UPON FOR EQUIPMENT GROUNDING.
- MECHANICAL / ELECTRICAL CONTROLS WIRING COORDINATION NOTE - THE CONTRACTOR SHALL FULLY COORDINATE ALL WORK PRIOR TO ROUGH-IN OF ANY MECHANICAL OR ELECTRICAL EQUIPMENT. REFER TO MECHANICAL SCHEDULES FOR DESIGNATIONS OF ALL ELECTRICAL EQUIPMENT. THE CONTRACTOR SHALL PROVIDE ALL CONTROL WIRING AND HARDWARE RELATED TO CONTROL WORK (I.E. TRANSFORMERS, CONTROL MODULES, CONNECTORS, ETC.) ALL CONTROL WIRING SHALL BE PLENUM RATED AND INSTALLED IN CONDUIT UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND LABOR TO PROVIDE THE 120 VOLT POWER SOURCES REQUIRED TO OPERATE ALL 120 VOLTAGE MECHANICAL EQUIPMENT AND MAKE FINAL 120 VOLT CONNECTIONS TO CONTROL EQUIPMENT. CONTRACTOR SHALL PROVIDE ALL JUNCTION BOXES AND / OR RECEPTACLES, 120 VOLT WIRING, AND SHALL INSTALL ALL WIRING IN CONDUIT.
- RECEPTACLE LABELING NOTE - CONTRACTOR SHALL PROVIDE LABELS ON ALL RECEPTACLE FACEPLATES THROUGHOUT THE BUILDING TO DENOTE THE PANEL AND CIRCUIT SERVING EACH DEVICE. LABELS SHALL BE THE SELF ADHESIVE TYPE AND BE WHITE WITH BLACK LETTERING. TEXT HEIGHT SHALL BE BETWEEN 3/8" AND 1/4" TO ENSURE LEGIBILITY AND TO PROPERLY FIT ON THE FACEPLATE AS REQUIRED.
- VOLTAGE DROP WIRING NOTE - VOLTAGE DROP HAS BEEN CONSIDERED IN THE DESIGN OF ALL BRANCH CIRCUITRY AND FEEDER SIZES BASED UPON THE ILLUSTRATED EQUIPMENT LAYOUTS AND SHORTEST CONDUCTOR / RACEWAY ROUTING. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING VOLTAGE DROP CONDITIONS OF FINAL CONDUIT / CONDUCTOR ROUTINGS DO NOT EXCEED THE FOLLOWING MAXIMUM VALUES AND UPSIZE CONDUCTORS AND CONDUIT AS REQUIRED / NOTED BELOW:

A. FEEDER CIRCUITS:	
1. MAX 3% VOLTAGE DROP (PER NEC ARTICLE 215.2(A)(4) INFORMATIONAL NOTE NO. 2)	
2. MAX 2% AT DESIGN LOAD (PER ASHRAE 90.1 SECTION 8.4.1.1)	

B. BRANCH CIRCUITS:	
1. MAX 3% VOLTAGE DROP (PER NEC ARTICLE 210.19(A)(1) INFORMATIONAL NOTE NO. 4)	
2. MAX 2% AT DESIGN LOAD (PER ASHRAE 90.1 SECTION 8.4.1.2)	

C. COMBINED VOLTAGE DROP ON FEEDER AND BRANCH CIRCUIT TO THE FURTHEST DEVICE OUTLET / UTILIZATION EQUIPMENT SHALL NOT EXCEED 5%.	
D. EQUIPMENT GROUND CONDUCTORS SHALL BE UPSIZED AS REQUIRED PER NEC ARTICLE 250.122(B).	
E. IN ADDITION TO THE REQUIREMENTS NOTED ABOVE, INCREASE CONDUCTOR SIZE BASED ON LENGTH OF RUNS AS INDICATED BELOW. ALL BRANCH CIRCUIT WIRING TO 120VOLT RECEPTACLES SHALL BE AS FOLLOWS:	
1. MAXIMUM OVERALL LENGTH 85FT - 2-#12, 1-#12G	
2. MAXIMUM OVERALL LENGTH 140FT - 2-#10, 1-#10G	
3. MAXIMUM OVERALL LENGTH 225FT - 2-#8, 1-#8G	
4. MAXIMUM OVERALL LENGTH 350FT - 2-#6, 1-#6G	
- TYPICAL DEVICE MOUNTING HEIGHTS - DEVICE MOUNTING HEIGHTS NOTED SHALL BE TO CENTER LINE OF DEVICE UNLESS OTHERWISE NOTED. REFER TO PLANS / SYMBOLS FOR ADDITIONAL DEVICE MOUNTING REQUIREMENTS:

A. RECEPTACLES	18" AFF
B. LIGHT SWITCH	48" AFF
- ABBREVIATIONS:**

AFF	ABOVE FINISHED FLOOR
C	CONDUIT
EGC	EQUIPMENT GROUNDING CONDUCTOR
EM	EMERGENCY
EW	ELECTRIC WATER COOLER
G.GND	GROUND
SEC	GROUNDING ELECTRODE CONDUCTOR
GFI	GROUND FAULT INTERRUPTER
GIS	GEOGRAPHIC INFORMATION SYSTEM
KCMIL	ONE THOUSAND CIRCULAR MILS
KVA	KILO-VOLT AMPERES
KW	KILOWATTS
KWH	KILOWATT-HOURS
MCB	MAIN CIRCUIT BREAKER
MLO	MAIN LUG ONLY
NEC	NATIONAL ELECTRICAL CODE
NTS	NOT TO SCALE
PH, φ	PHASE
REC	RECTANGULAR
SPD	SURGE PROTECTION DEVICE
SQ	SQUARE
SUS	SANITARIUMS UTILITY SERVICES
UN	UNLESS OTHERWISE NOTED
V	VOLTS
WP	WEATHERPROOF

ELECTRICAL SYSTEM AND EQUIPMENT

METHOD OF COMPLIANCE:

ENERGY CODE: PRESCRIPTIVE PERFORMANCE _____
ASHRAE 90.1: PRESCRIPTIVE _____ PERFORMANCE _____

LIGHTING SCHEDULE:

LAMP TYPE REQUIRED IN FIXTURE	
NUMBER OF LAMPS / LEDS IN FIXTURE	
BALLAST / DRIVER TYPE USED IN THE FIXTURE	SEE LIGHT FIXTURE SCHEDULE
NUMBER OF BALLASTS / DRIVERS IN FIXTURE	
TOTAL INTERIOR WATTAGE SPECIFIED VS. ALLOWED	SPACE BY SPACE: RESTROOM 175W/FT ² SPECIFIED VS. 366W/FT ² ALLOWED
TOTAL EXTERIOR WATTAGE SPECIFIED VS. ALLOWED	N/A

ADDITIONAL EFFICIENCY PACKAGE OPTIONS:

- 406.2 MORE EFFICIENT MECHANICAL EQUIPMENT PERFORMANCE
- 406.3 REDUCED LIGHTING POWER DENSITY
- 406.4 ENHANCED DIGITAL LIGHTING CONTROLS
- 406.5 ON-SITE RENEWABLE ENERGY
- 406.6 DEDICATED OUTDOOR AIR SYSTEM
- 406.7 REDUCED ENERGY USE IN SERVICE WATER HEATING

ELECTRICAL DESIGNER STATEMENT:

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE DESIGN OF THE BUILDING COMPLIES WITH THE ELECTRICAL SYSTEM AND EQUIPMENT REQUIREMENTS OF THE NORTH CAROLINA ENERGY CODE, 2018 EDITION.

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TOILET RENOVATION AND RE-ROOFING PLANS FOR:
CITY OF ROCKY MOUNT BUSINESS CENTER
224 SOUTH FRANKLIN STREET
ROCKY MOUNT NORTH CAROLINA 27804

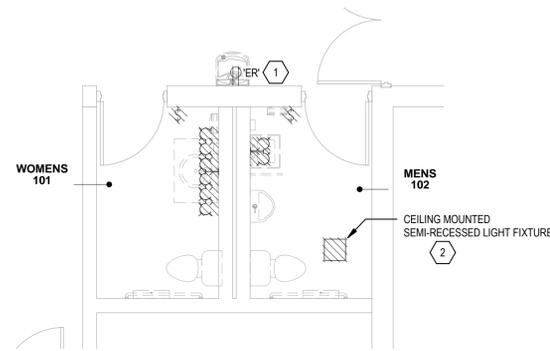


GENERAL NOTE:
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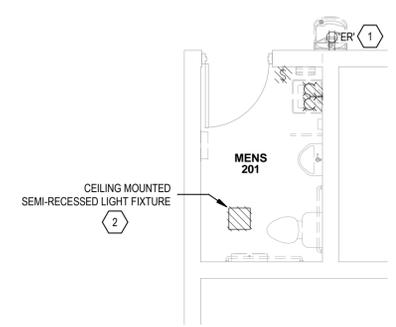
Revisions	Description	Date

Date	Project No.
4/11/2022	21049
Drawn By	Sheet No.
SEG	E0.1
Checked By	
BMW	
Sheet Title	
ELECTRICAL SYMBOLS, LEGENDS, SCHEDULES, AND NOTES	

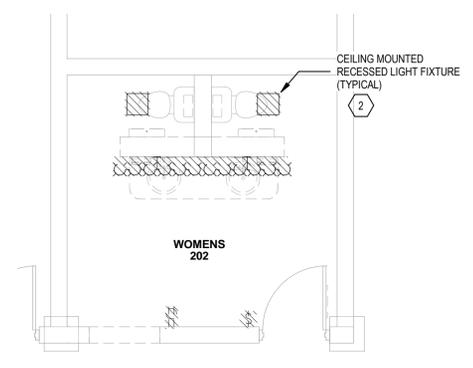
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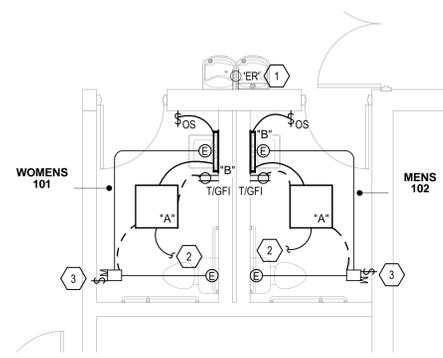
1 ELECTRICAL DEMOLITION - FIRST FLOOR
E1.1 SCALE: 1/4" = 1'-0"



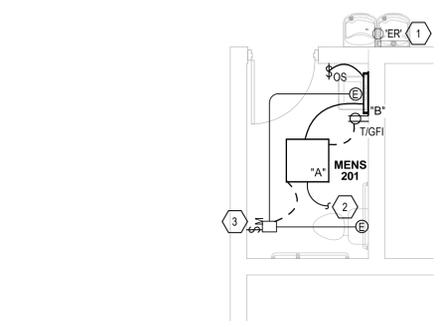
2 ELECTRICAL DEMOLITION - SECOND FLOOR - MENS 201
E1.1 SCALE: 1/4" = 1'-0"



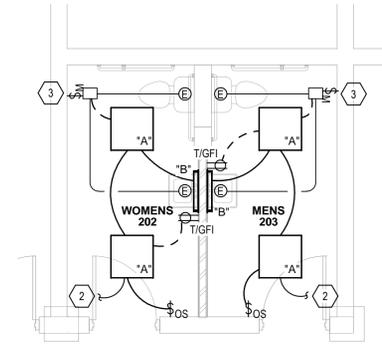
3 ELECTRICAL DEMOLITION - SECOND FLOOR - WOMENS 202
E1.1 SCALE: 1/4" = 1'-0"



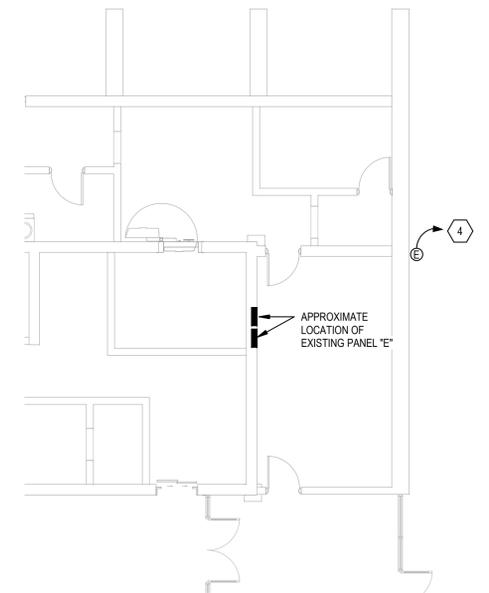
4 ELECTRICAL NEW WORK - FIRST FLOOR
E1.1 SCALE: 1/4" = 1'-0"



5 ELECTRICAL NEW WORK - SECOND FLOOR PLAN - MENS 201
E1.1 SCALE: 1/4" = 1'-0"



6 ELECTRICAL NEW WORK - SECOND FLOOR PLAN - WOMENS 202
E1.1 SCALE: 1/4" = 1'-0"



7 ELECTRICAL NEW WORK - FIRST FLOOR PARTIAL
E1.1 SCALE: 1/8" = 1'-0"

EXISTING EQUIPMENT / CONDUIT / CONDUCTOR REMOVAL NOTE

UNLESS OTHERWISE NOTED WHERE LIGHTING FIXTURES, SWITCHES, RECEPTACLES, TELECOMMUNICATION OUTLETS, ETC. ARE SHOWN TO BE REMOVED, THE CONTRACTOR SHALL REMOVE ALL DEVICES, OUTLET BOXES, FACEPLATES, CONDUIT, SURFACE RACEWAY, WIREMOLD, WIRE / CABLING, JUNCTION BOXES, SUPPORTS, FASTENERS, ETC. IN THEIR ENTIRETY BACK TO THE SOURCE. CLOSELY COORDINATE REMOVAL OF EXISTING DATA CABLING WITH OWNER.

IN THE EVENT EXISTING CONDUIT NOTED TO BE REMOVED TERMINATES INTO A JUNCTION BOX, OUTLET BOX, ETC. SERVING OTHER EXISTING EQUIPMENT TO REMAIN OR BE RECONNECT, THE CONTRACTOR SHALL REMOVE CONDUIT TO THAT JUNCTION BOX AT A MINIMUM. CONTRACTOR SHALL PROVIDE KNOCKOUT PLUGS FOR ALL KNOCKOUTS WHERE CONDUIT IS REMOVED.

IN THE EVENT EXISTING CONDUCTORS NOTED TO BE REMOVED BACK TO THE SOURCE ARE FOUND TO SERVE OTHER EXISTING EQUIPMENT TO REMAIN AND / OR NOT BE MODIFIED AS PART OF THIS PROJECT, THE CONTRACTOR SHALL REMOVE CONDUCTORS SPECIFICALLY DEDICATED TO THE EXISTING SYSTEM / DEVICE BEING REMOVED TO THE FURTHEST POINT POSSIBLE PRIOR TO WHERE EXISTING SYSTEMS / DEVICES NOT TO BE REMOVED ARE SERVED FROM THE SAME BRANCH CIRCUIT.

EXISTING DEVICE NOTE

UNLESS OTHERWISE NOTED ALL EXISTING LIGHTING, SWITCHING DEVICES, RECEPTACLES, POWER EQUIPMENT, ETC. LOCATED ADJACENT TO THE PROJECT AREA NOT SPECIFICALLY IDENTIFIED AS BEHIND MODIFIED OR REMOVED AS A PART OF THIS PROJECT SHALL REMAIN AND BE FULLY FUNCTIONAL THROUGHOUT AND AT THE COMPLETION OF THE PROJECT.

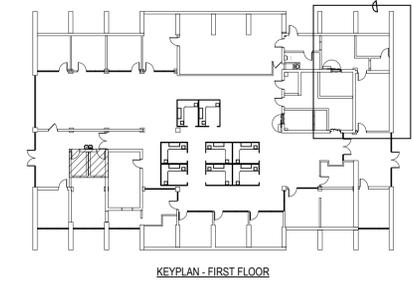
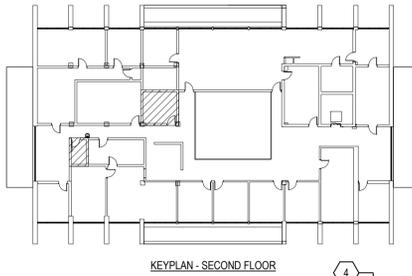
EXISTING CIRCUIT RE-USE NOTE TO REVIEWER

IT IS THE INTENT TO RE-USE THE EXISTING CIRCUIT(S) SERVING THE RENOVATED AREAS. THE LOAD REMOVED FROM THE EXISTING CIRCUIT(S) PROVIDES ADEQUATE CAPACITY TO POWER THE NEW FIXTURES / DEVICES.

	LOAD REMOVED	LOAD ADDED
WOMENS ROOM 101:	350W	266W
MENS ROOM 102:	420W	316W
MENS ROOM 201:	420W	316W
WOMENS ROOM 202/		
MENS ROOM 203:	660W	370W

NOTES KEYED TO PLANS

- EXISTING CIRCUIT / RECEPTACLE SERVING EXISTING ELECTRIC WATER COOLER (EWC) TO REMAIN AND BE RE-USED TO SERVE NEW EWC AS REQUIRED. CONTRACTOR SHALL ADJUST RECEPTACLE / BRANCH WIRING AS REQUIRED IN COORDINATION WITH THE NEW EWC INSTALLATION. IN THE EVENT THE EXISTING RECEPTACLE IS NOT THE GFCI TYPE, THE CONTRACTOR SHALL REPLACE THE EXISTING RECEPTACLE WITH A NEW GFCI TYPE RECEPTACLE AS REQUIRED. WHERE REQUIRED, NEW CONDUIT / WIRE SHALL BE 2#12, 1-#12G, 3/4" UNLESS EXISTING CONDITIONS REQUIRE OTHERWISE.
- EXISTING CIRCUIT SERVING LIGHT FIXTURES THIS SPACE IS TO REMAIN AND BE RE-USED TO SERVE NEW LED LIGHTING FIXTURES AND DEVICES SHOWN. INTERCEPT AND EXTEND EXISTING CIRCUIT AND CONNECT TO NEW LIGHT FIXTURES / DEVICES UTILIZING 2-#12, 1-#12G, 3/4" AS REQUIRED.
- HARDWIRED POWER CONVERTER FOR PLUMBING FIXTURE SENSOR(S). POWER CONVERTER SHALL BE MOUNTED ABOVE CEILING AND HARD WIRED TO EACH LAVATORY FIXTURE SHOWN. PLUMBING CONTRACTOR SHALL PURCHASE THIS PIECE OF EQUIPMENT AND THE ELECTRICAL CONTRACTOR SHALL MAKE FINAL CONNECTIONS. COORDINATE EXACT MOUNTING LOCATION WITH PLUMBING CONTRACTOR AND FIELD VERIFY EXACT LENGTH OF WIRES NEEDED FOR INSTALLATION PRIOR TO ROUGH-IN. COORDINATE WITH THE ARCHITECT TO PROVIDE AN ACCESS PANEL IN CEILING AT FINAL CONVERTER LOCATION.
- PROVIDE 120VAC POWER TO SERVE EXTERIOR HOT BOX ENCLOSURE HEATER AS REQUIRED. COORDINATE FINAL LOCATION ON EXTERIOR OF BUILDING WITH ARCHITECT PRIOR TO ROUGH-IN. PROVIDE 2-#12, 1-#12G, 3/4" AND CONNECT TO AVAILABLE 20AMP CIRCUIT IN EXISTING PANEL "E" LOCATED WITHIN THE FIRST FLOOR AS SHOWN. WHERE REQUIRED, PROVIDE NEW 20AMP, 1-POLE BREAKER IN EXISTING PANEL TO SERVE HOT BOX ENCLOSURE HEATER. BREAKER SHALL BE COMPATIBLE WITH EXISTING PANEL. GE TYPE NLAB. COORDINATE ALL EXTERIOR BUILDING PENETRATIONS WITH THE ARCHITECT AND SEAL IN ACCORDANCE WITH NEC ARTICLE 230.8 AND AS REQUIRED TO ENSURE A WEATHERPROOF PENETRATION.



GENERAL NOTE:
Prior to construction start. Contractor shall verify & be responsible for all Dimensions.

Revisions	#	Description	Date

Date	Project No.
4/11/2022	21049
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BMW	