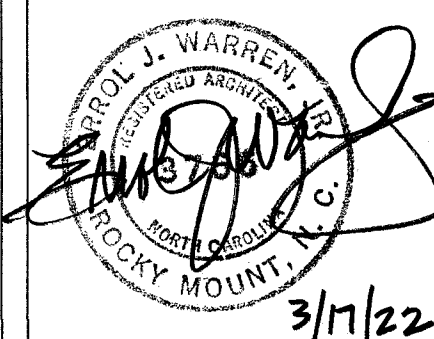


ERROL J. WARREN, JR./ARCHITECT
600 TIFFANY BOULEVARD SUITE E
ROCKY MOUNT, NORTH CAROLINA
(252) 977-7787

Replacement Residence
623 Branch Street
 Rocky Mount, NC

ARCHITECT
 ERROL J. WARREN, JR.

600 Tiffany Boulevard
 Suite E
 Rocky Mount, NC 27804
 (252) 977-7787
 archjw@hotmail.com



Contractor shall verify and be responsible for all dimensions at job.

July - 21 date
 project sheet

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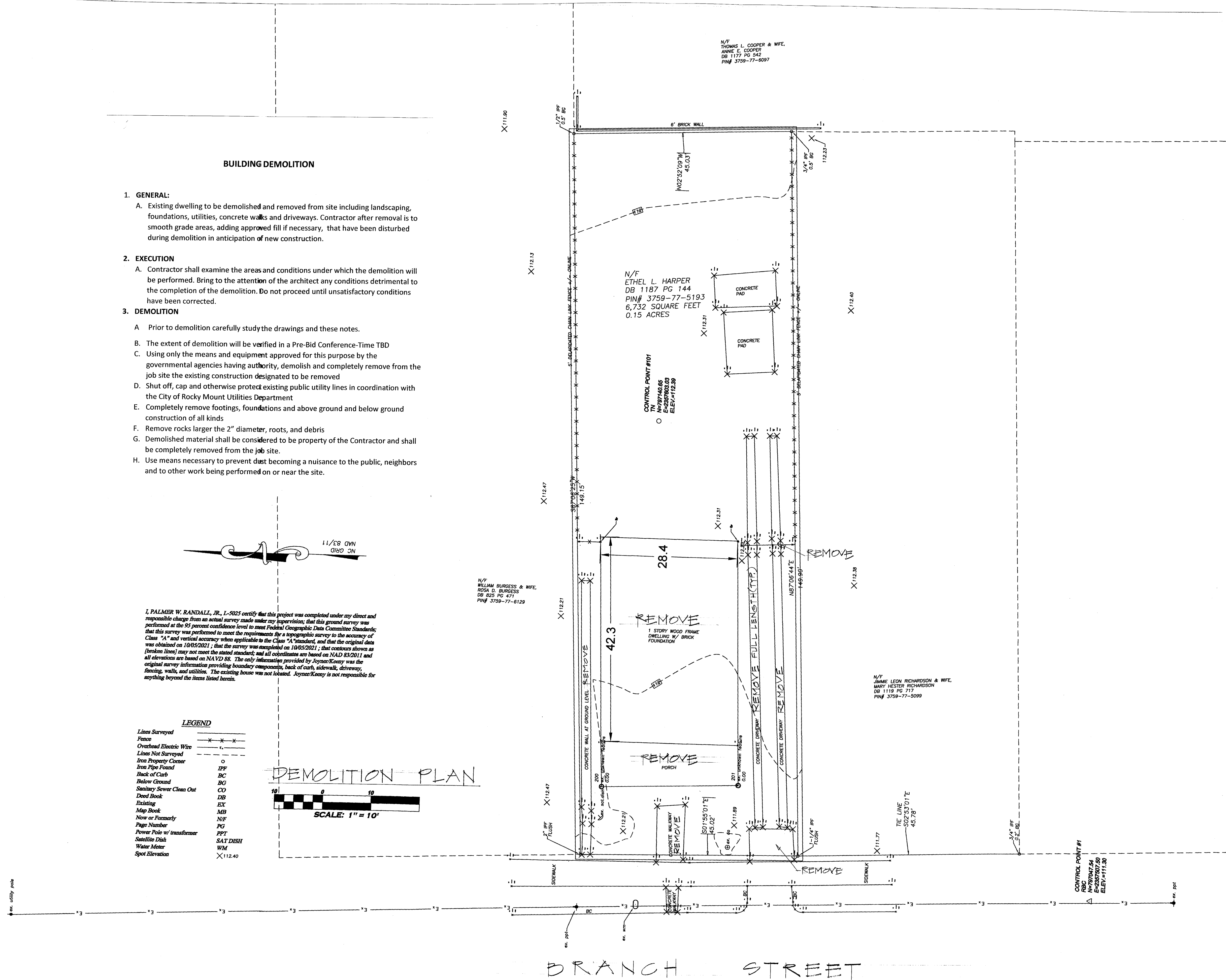
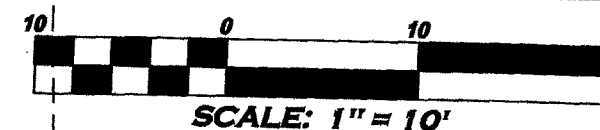
BUILDING DEMOLITION

1. **GENERAL:**
 - Existing dwelling to be demolished and removed from site including landscaping, foundations, utilities, concrete walks and driveways. Contractor after removal is to smooth grade areas, adding approved fill if necessary, that have been disturbed during demolition in anticipation of new construction.
2. **EXECUTION**
 - Contractor shall examine the areas and conditions under which the demolition will be performed. Bring to the attention of the architect any conditions detrimental to the completion of the demolition. Do not proceed until unsatisfactory conditions have been corrected.
3. **DEMOLITION**
 - Prior to demolition carefully study the drawings and these notes.
 - The extent of demolition will be verified in a Pre-Bid Conference-Time TBD
 - Using only the means and equipment approved for this purpose by the governmental agencies having authority, demolish and completely remove from the job site the existing construction designated to be removed
 - Shut off, cap and otherwise protect existing public utility lines in coordination with the City of Rocky Mount Utilities Department
 - Completely remove footings, foundations and above ground and below ground construction of all kinds
 - Remove rocks larger the 2" diameter, roots, and debris
 - Demolished material shall be considered to be property of the Contractor and shall be completely removed from the job site.
 - Use means necessary to prevent dust becoming a nuisance to the public, neighbors and to other work being performed on or near the site.

I, PALMER W. RANDALL, JR., L-5025 certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 95 percent confidence level to meet Federal Geographic Data Committee Standards; that this survey was performed to meet the requirements for a topographic survey to the accuracy of Class "A" and vertical accuracy when applicable to the Class "A" standard; and that the original data (broken lines) may not meet the stated standard; and all coordinates are based on NAD 83/2011 and all elevations are based on NAVD 88. The only information provided by Joyce/Keany was the original survey information providing boundary components, back of curb, sidewalk, driveway, fencing, walls, and utilities. The existing house was not located. Joyce/Keany is not responsible for anything beyond the items listed herein.

LEGEND	
Lines Surveyed	---
Fence	---x---
Overhead Electric Wire	---o---
Lines Not Surveyed	---
Iron Property Corner	o
Iron Pipe Found	DPF
Back of Curb	BC
Below Ground	BG
Sanitary Sewer Clean Out	CO
Deed Book	DB
Existing	EX
Map Book	MB
Now or Formerly	N/F
Page Number	PG
Power Pole w/ transformer	PPT
Satellite Dish	SAT DISH
Water Meter	WM
Spot Elevation	X 112.40

DEMOLITION PLAN



BRANCH STREET

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ERROL J. WARREN, JR.

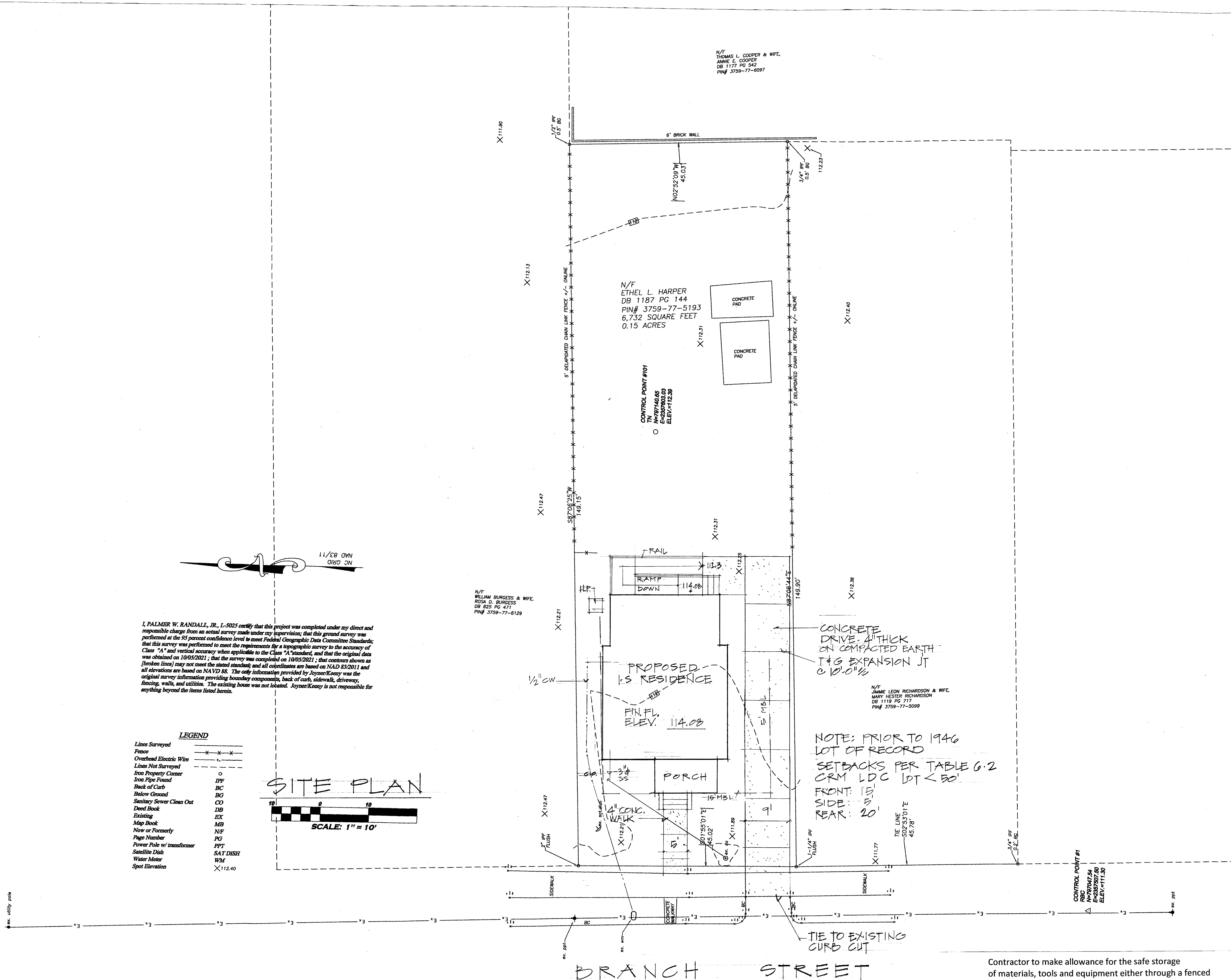
600 Tiffany Boulevard
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archejw@hotmail.com

ERROL J. WARREN, JR.
REGISTERED ARCHITECT
STATE OF NORTH CAROLINA
NO. 27804
3/17/22

Contractor shall verify and be responsible for all dimensions at job.

July - 21 date sheet
project

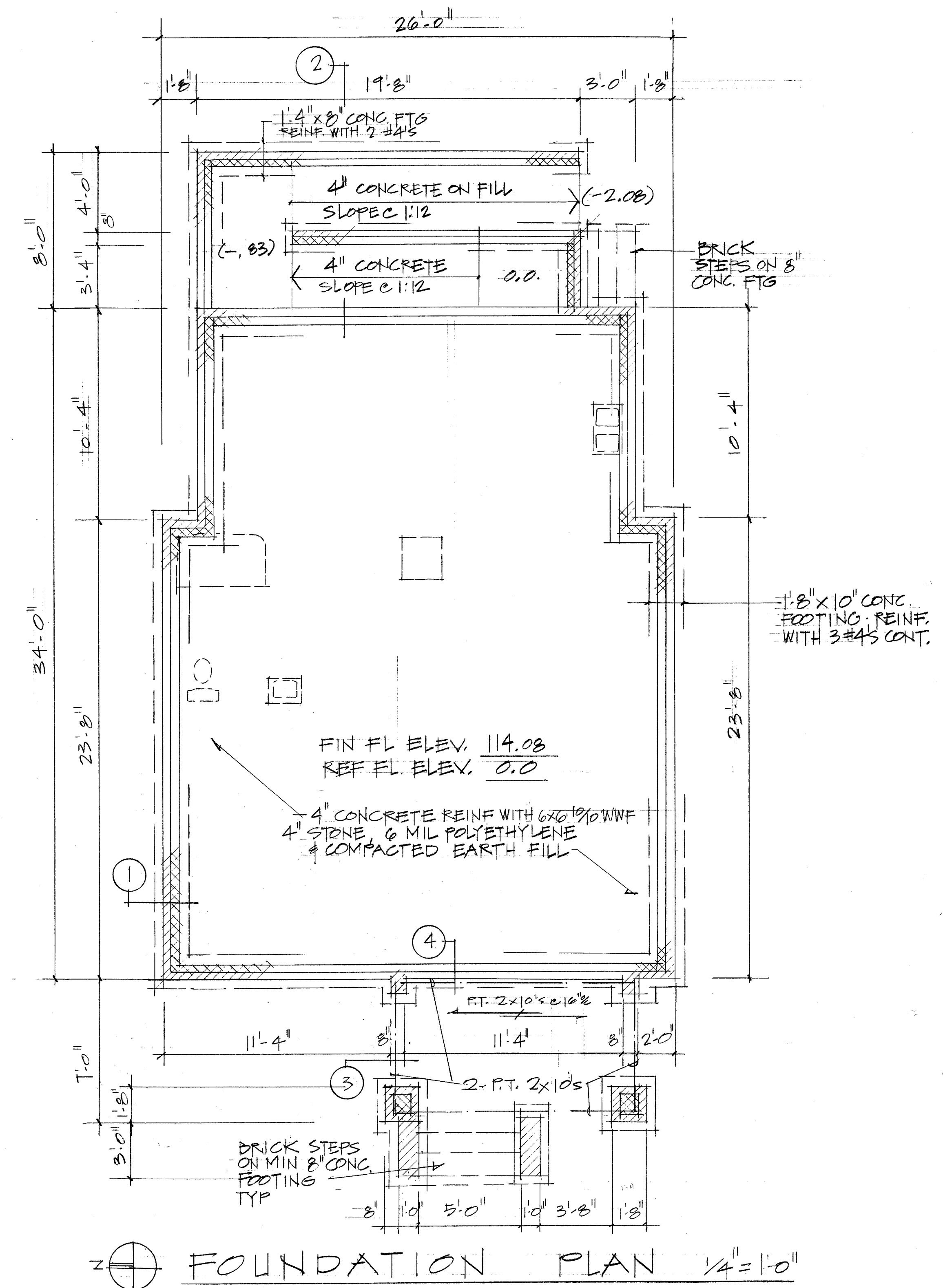
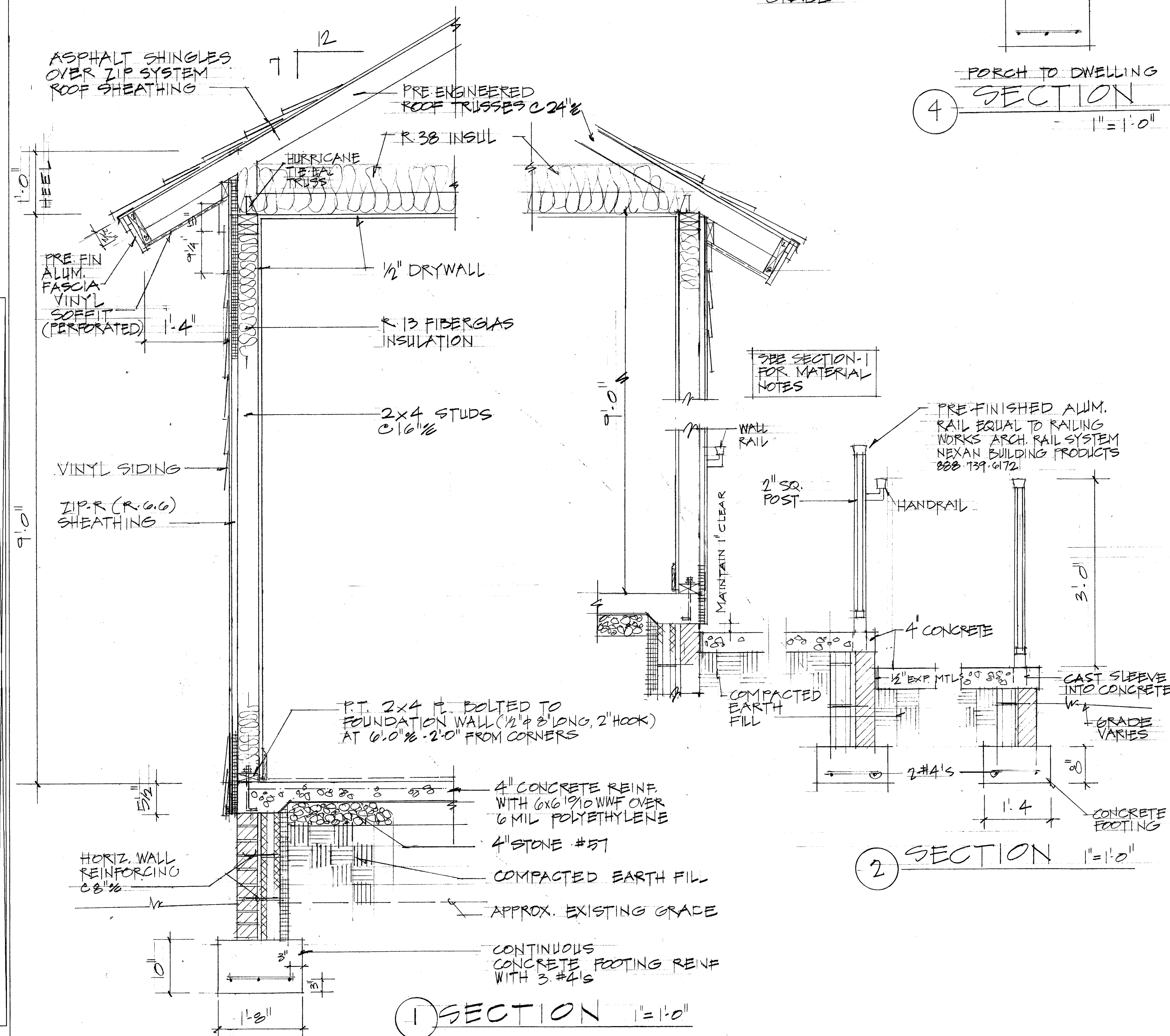
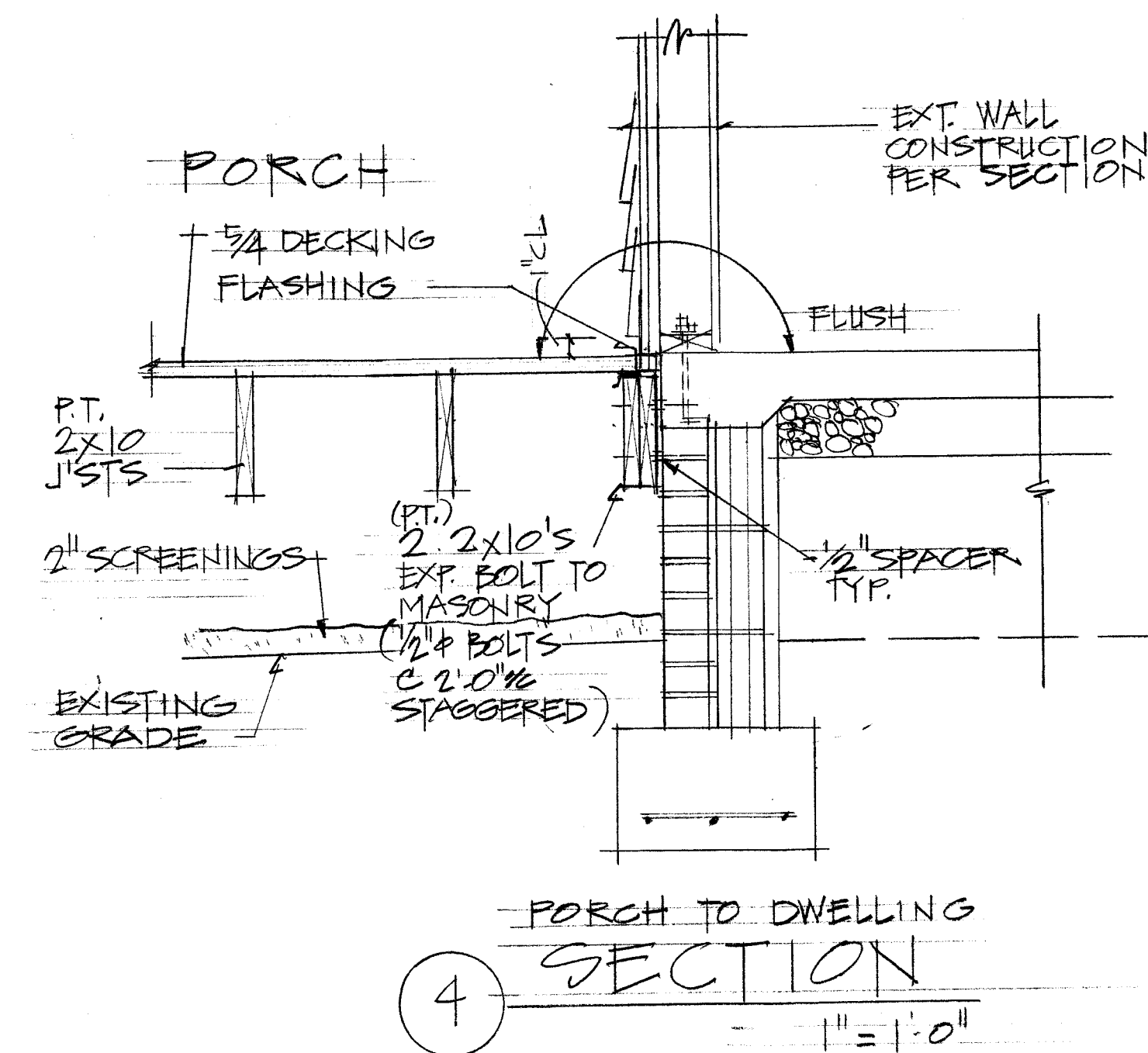
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Contractor to make allowance for the safe storage of materials, tools and equipment either through a fenced enclosure, storage container(s) or other means.

FOUNDATION NOTES

1. Presumed soil bearing capacity: 1500 PSF.
2. Footing shall be carried to lower elevation than those shown on the drawings if required by the Architect to reach firm soil.
3. Compact all fill under building to 95% maximum density as determined by ASTM D1557. Place in layers 8" maximum loose thickness. Verify field density, ASTM D1556, with at least one test per 1000 sq. ft. per layer. All tests to be at expense of Owner.
4. No backfilling shall be done against masonry or concrete walls unless all slabs are poured and/or walls are braced against over-turning.
5. All foundation concrete, including slab-on grade, shall obtain a 28-day compressive strength of 3000 PSI standard weight.
6. All footings shall be 2'-0" below reference elevation 0'-0" unless otherwise noted.



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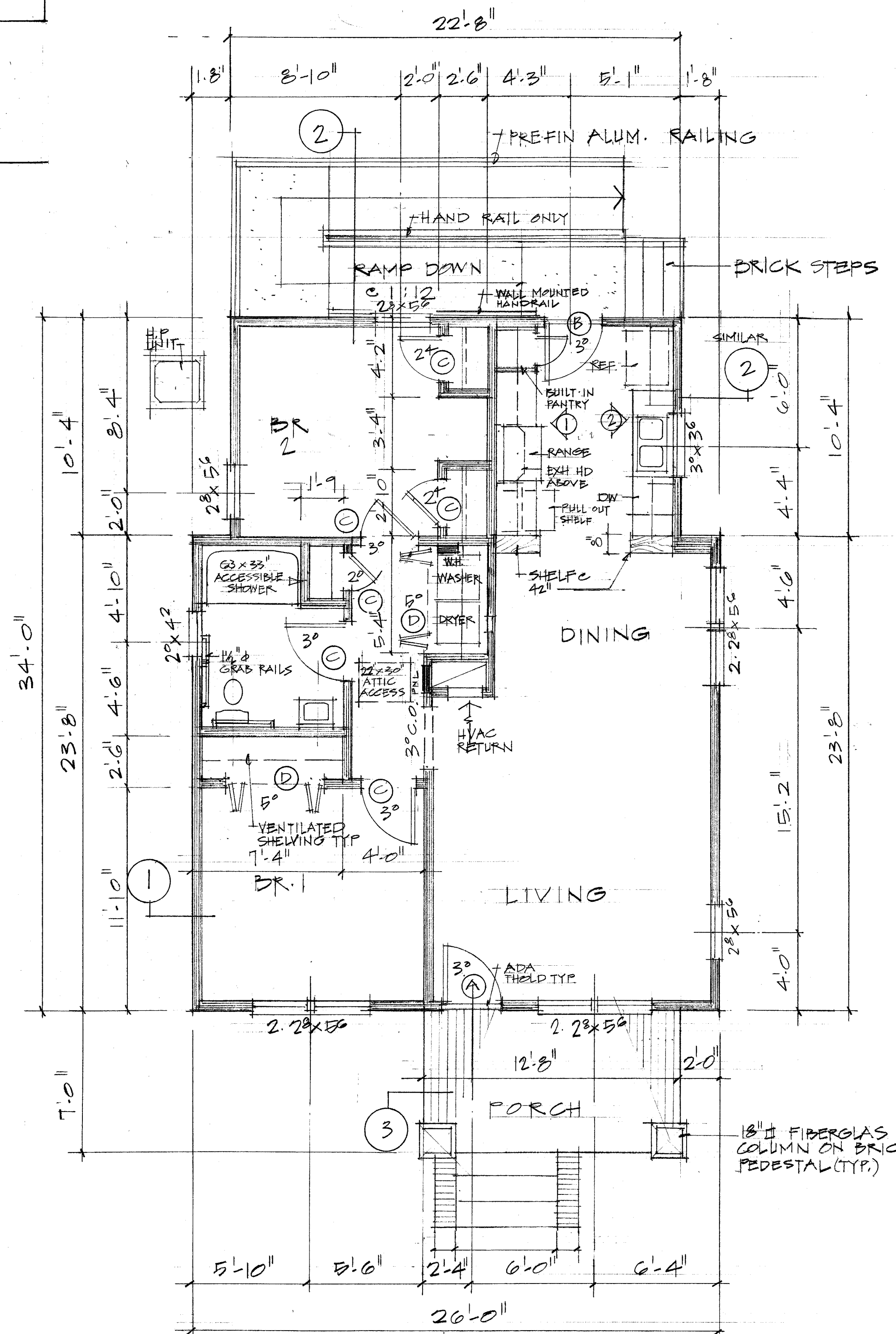
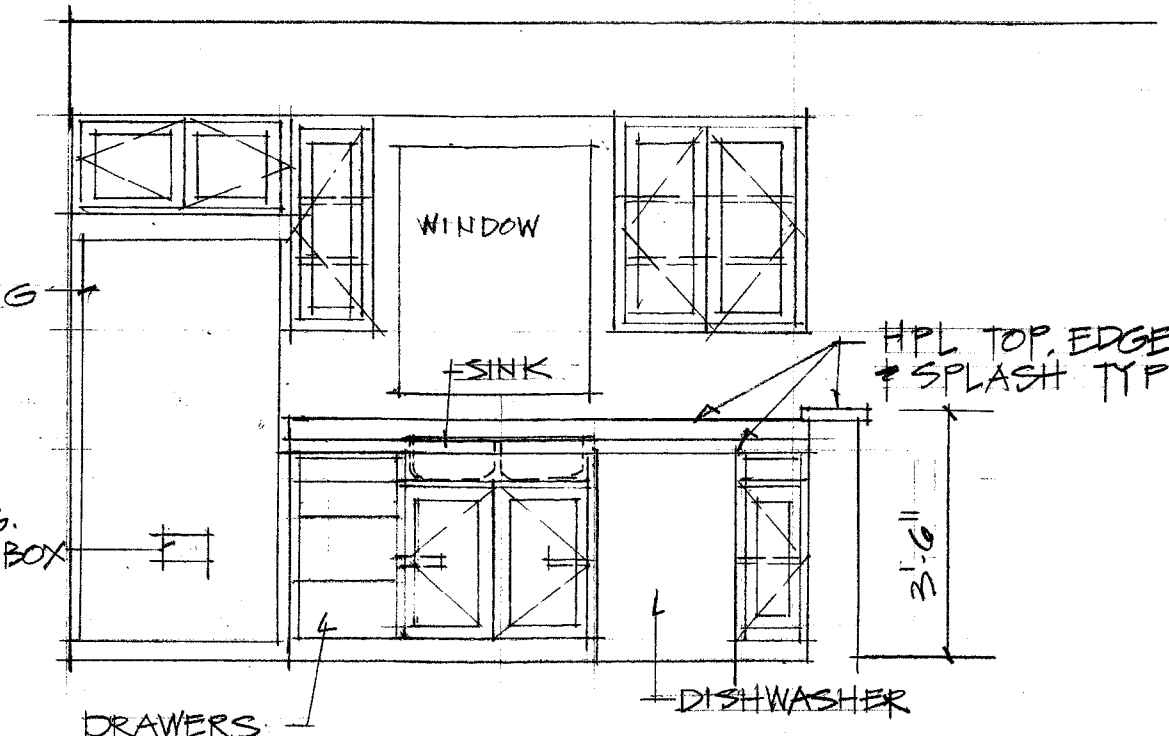
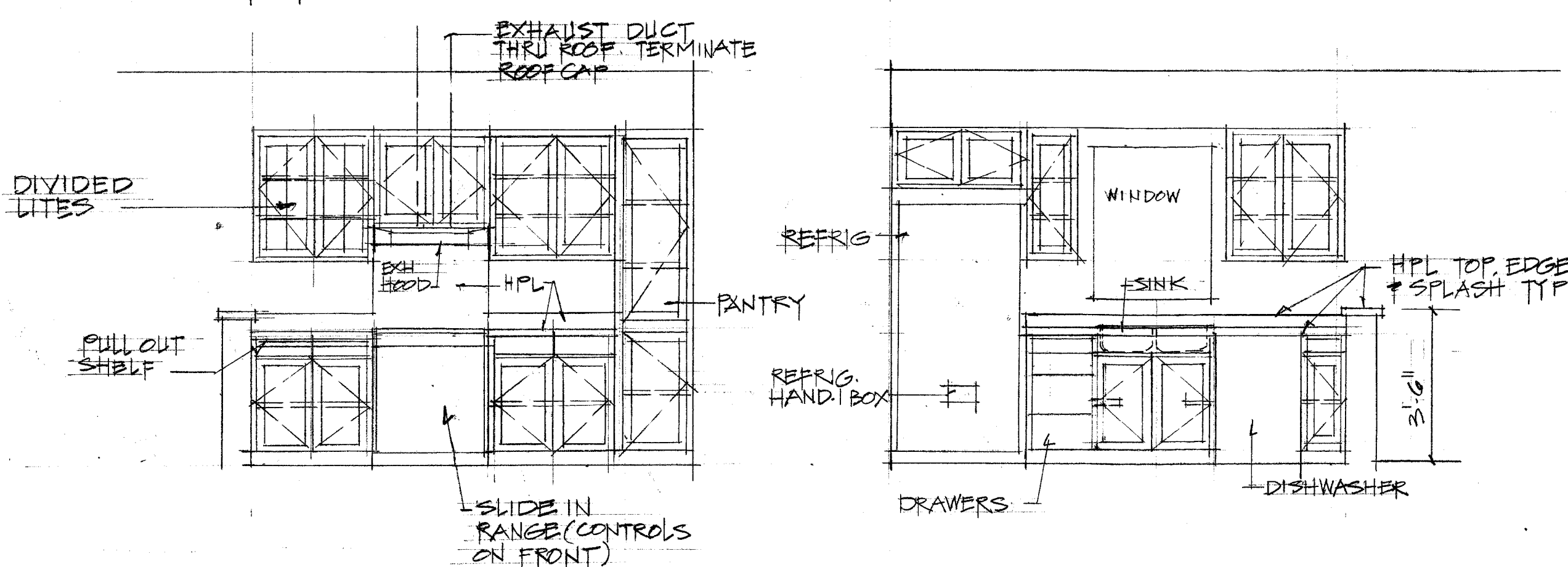
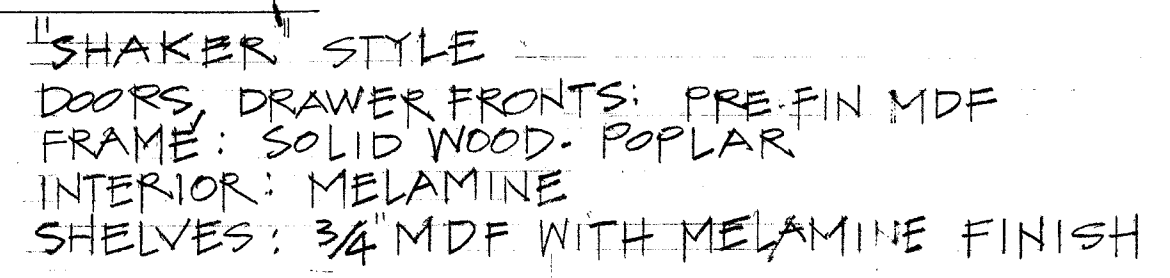
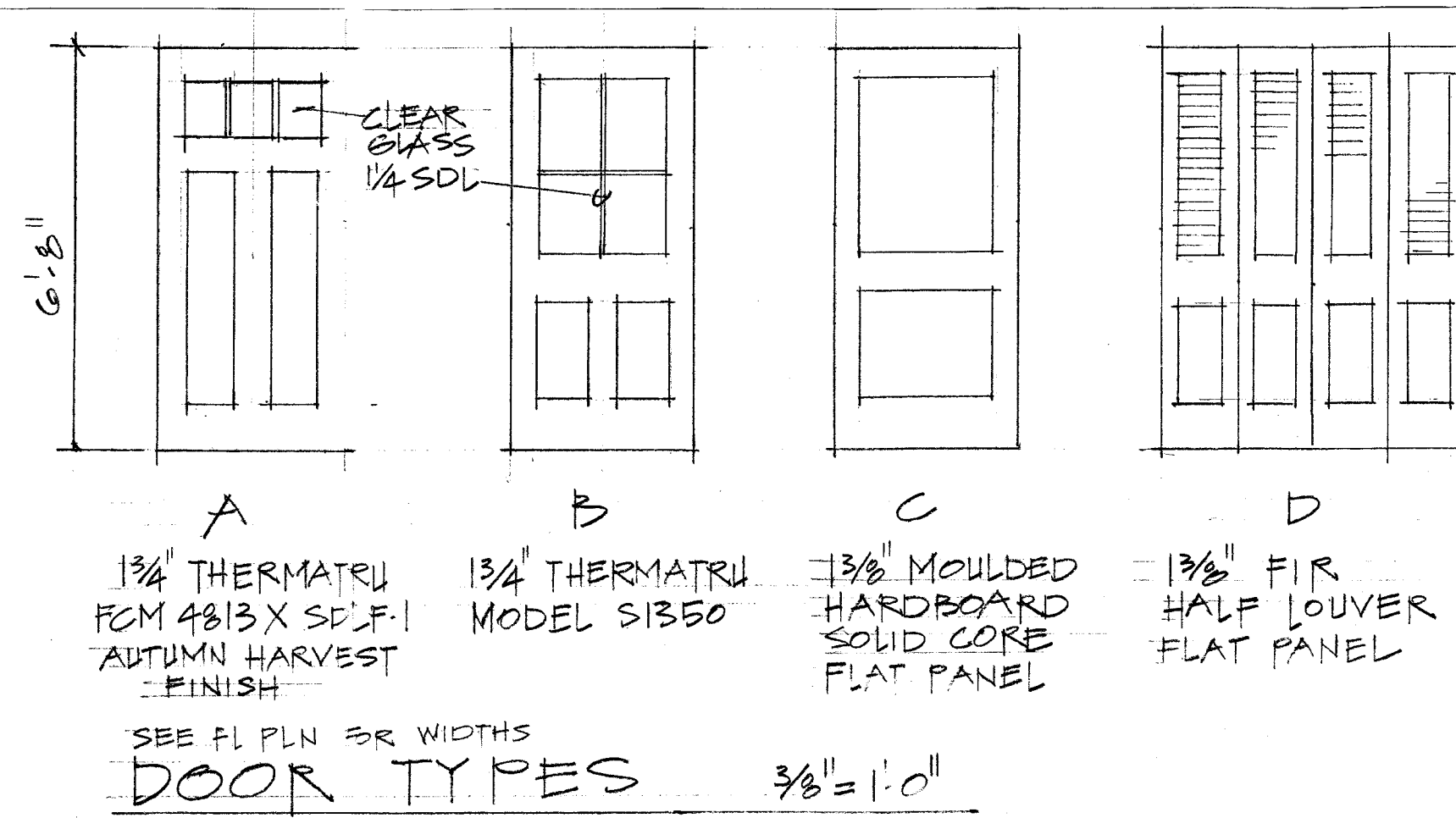
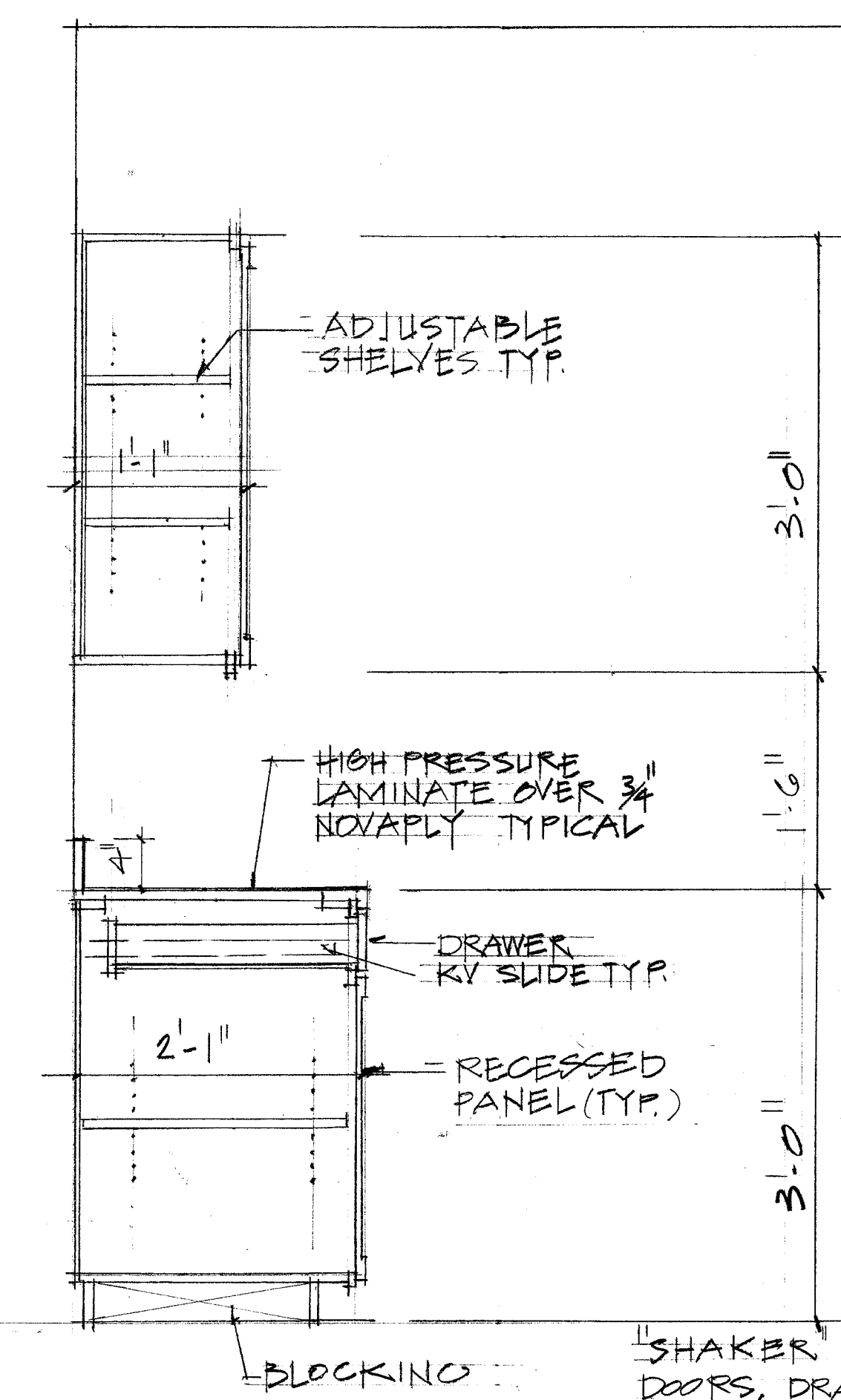
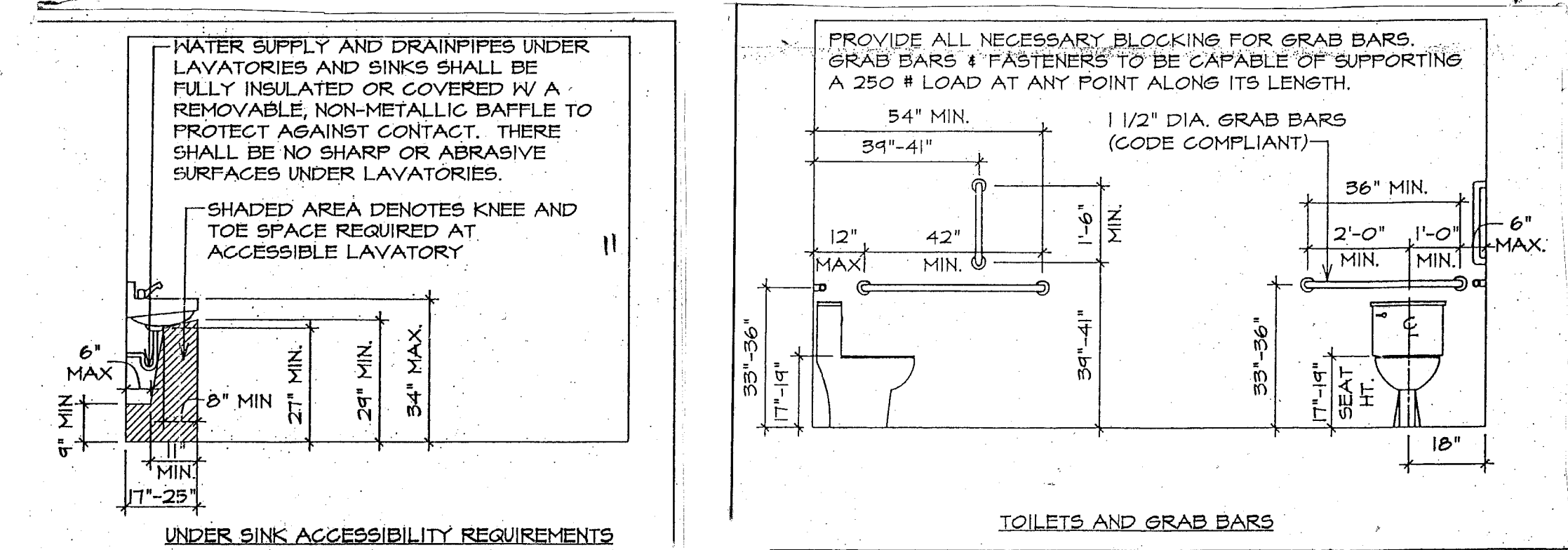
ERROL J. WARREN, JR.
REGISTERED ARCHITECT
NORTH CAROLINA
3-17-22

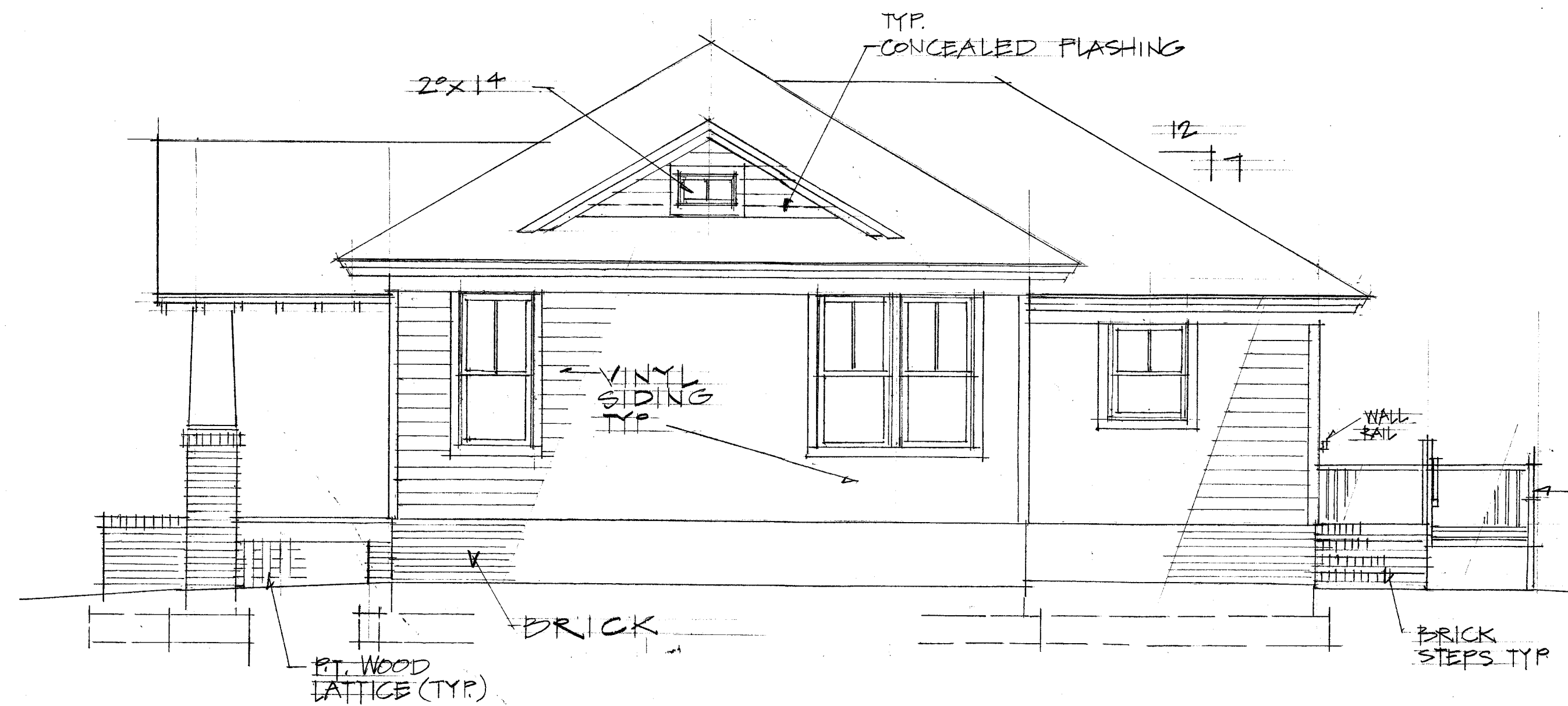
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July - 21
date sheet
project

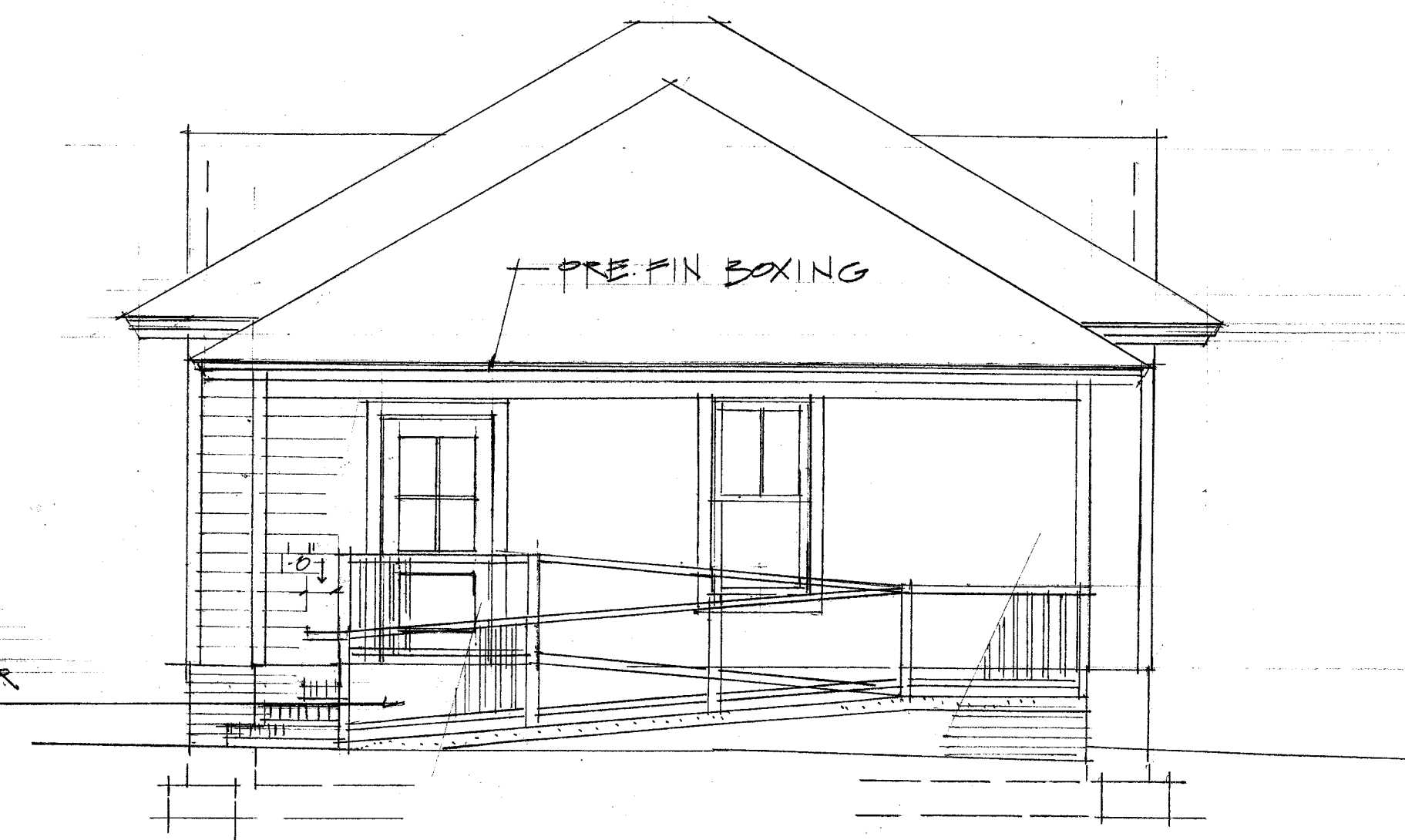
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FINISH SCHEDULE			
FLOOR	BASE	WALLS	CEILING
A LUXURY VINYL TILE - PER ALLOWANCE FULL SPREAD ADHESIVE	1 1/4" SPEED BASE EQUAL TO STEPHENSON MC GSI	A PAINTED DRYWALL SEE SPECS	1 PAINTED DRYWALL SEE SPECS
B	2	B	2
C	3	C	3
D	4	D	4

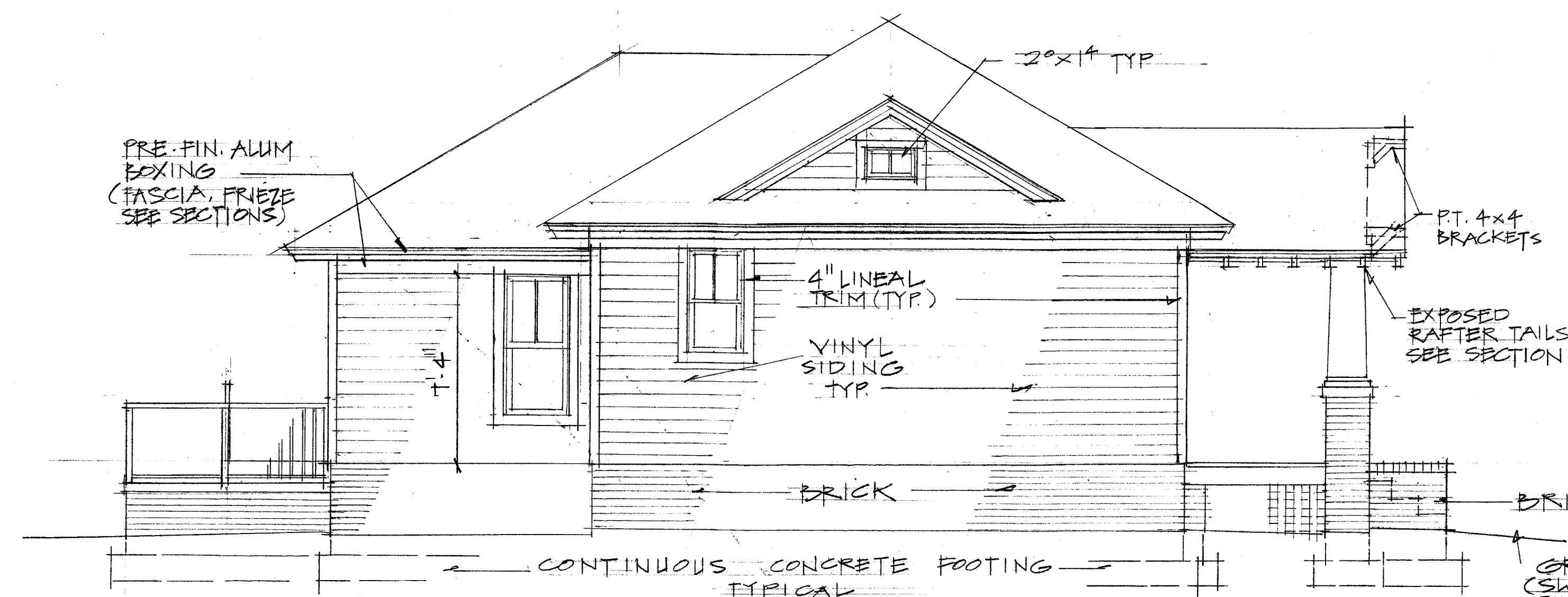




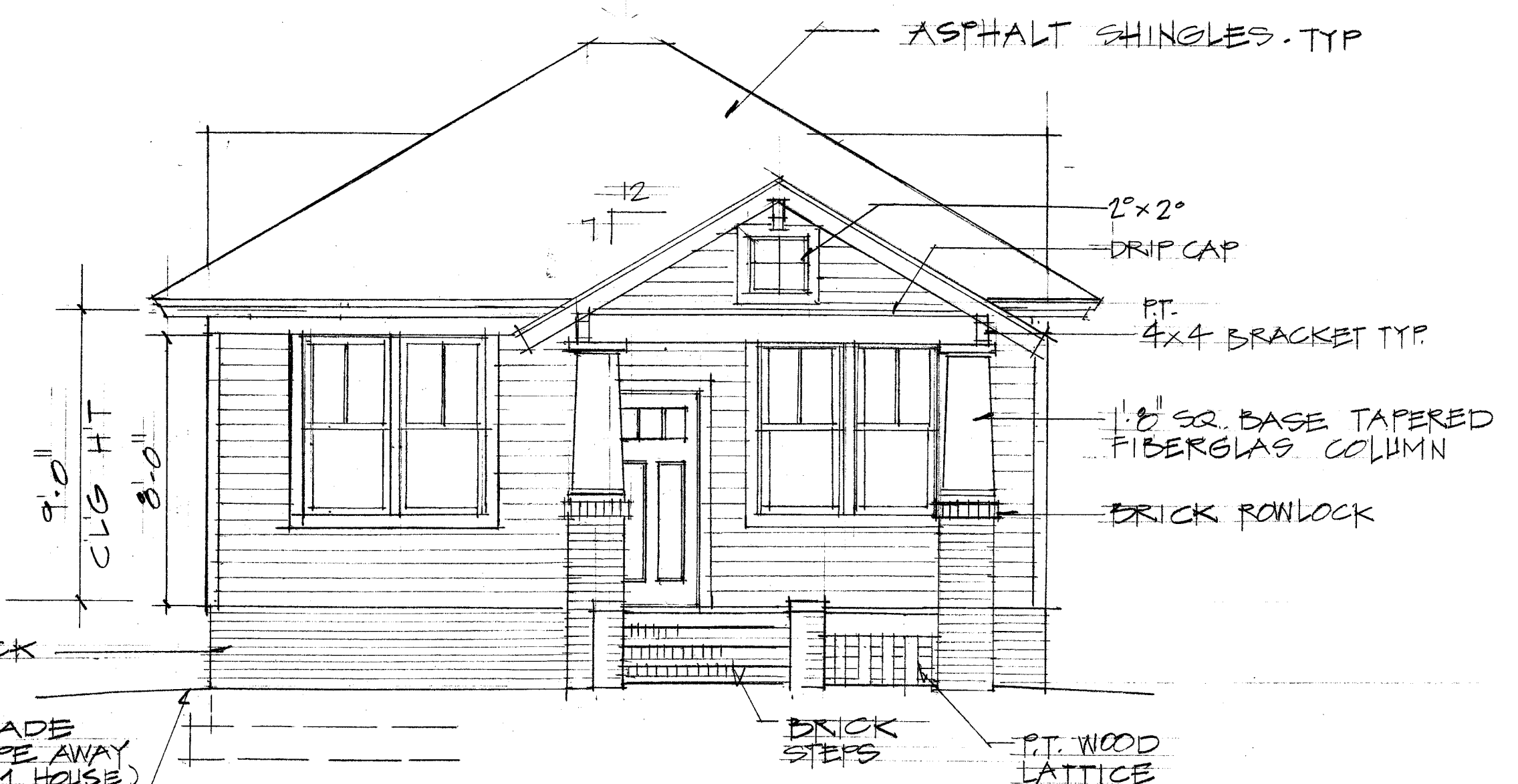
SOUTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

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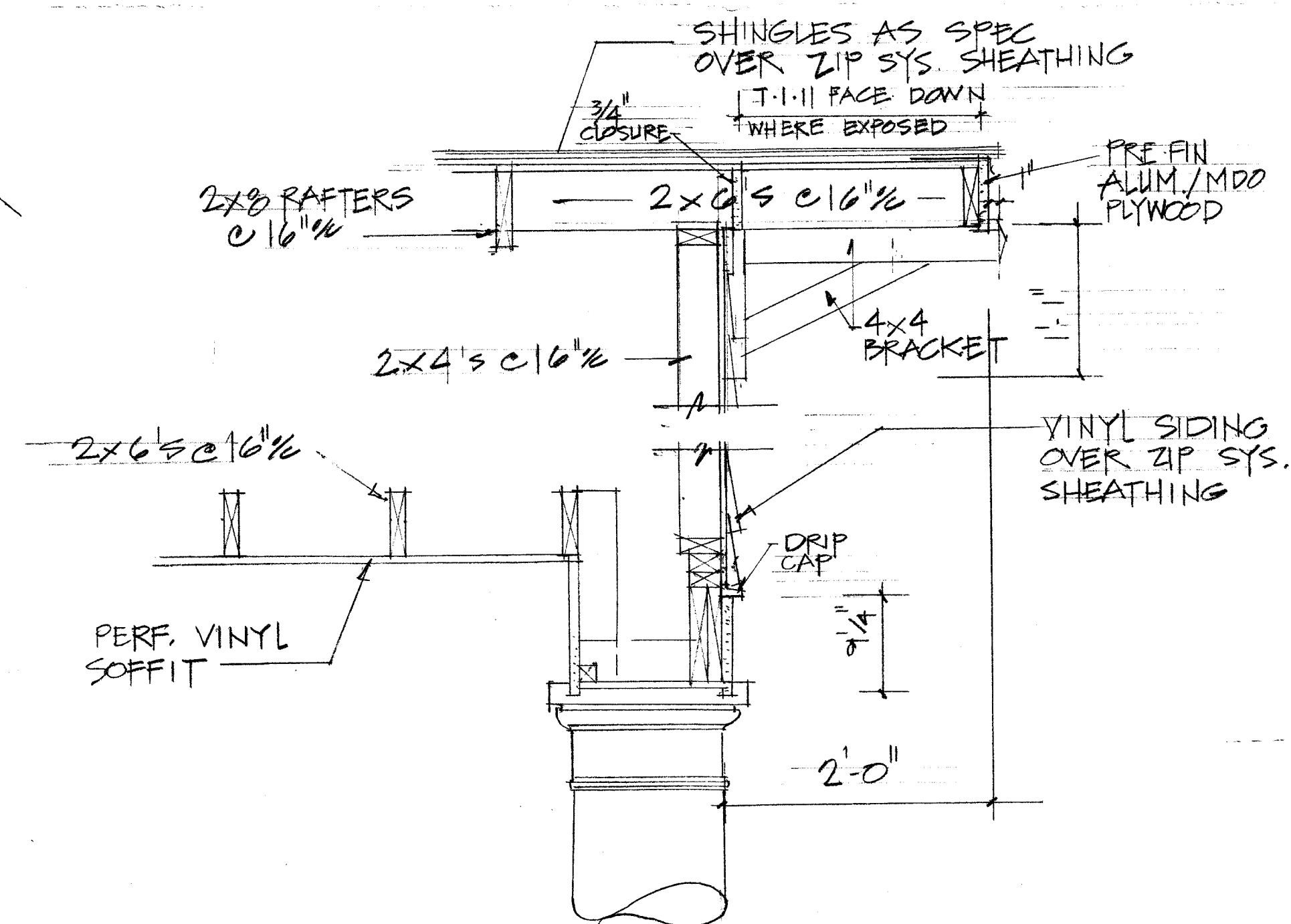
600 Tiffany Boulevard
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ERROL J. WARREN, JR.
ARCHITECT
ROCKY MOUNT, N.C.
7/17/22

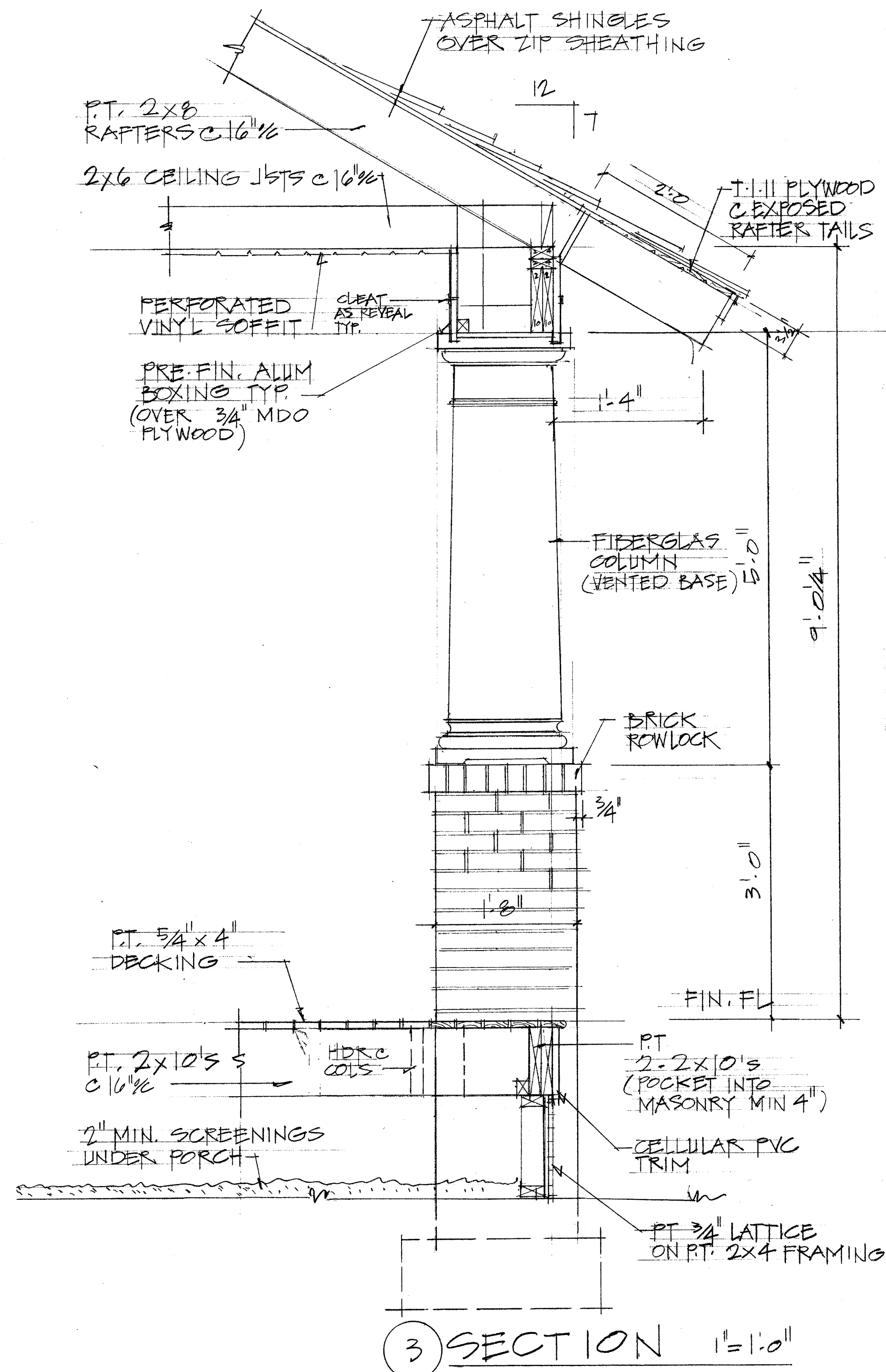
Contractor shall verify and be responsible for all dimensions at job.

July - 21 date sheet
project

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5 SECTION



3 SECTION 11-10

FRAMING LEGEND

**STICK-BUILT or SITE-
FABRICATED MEMBERS** _____

**PRE-ENGINEERED
WOOD TRUSSES** _____

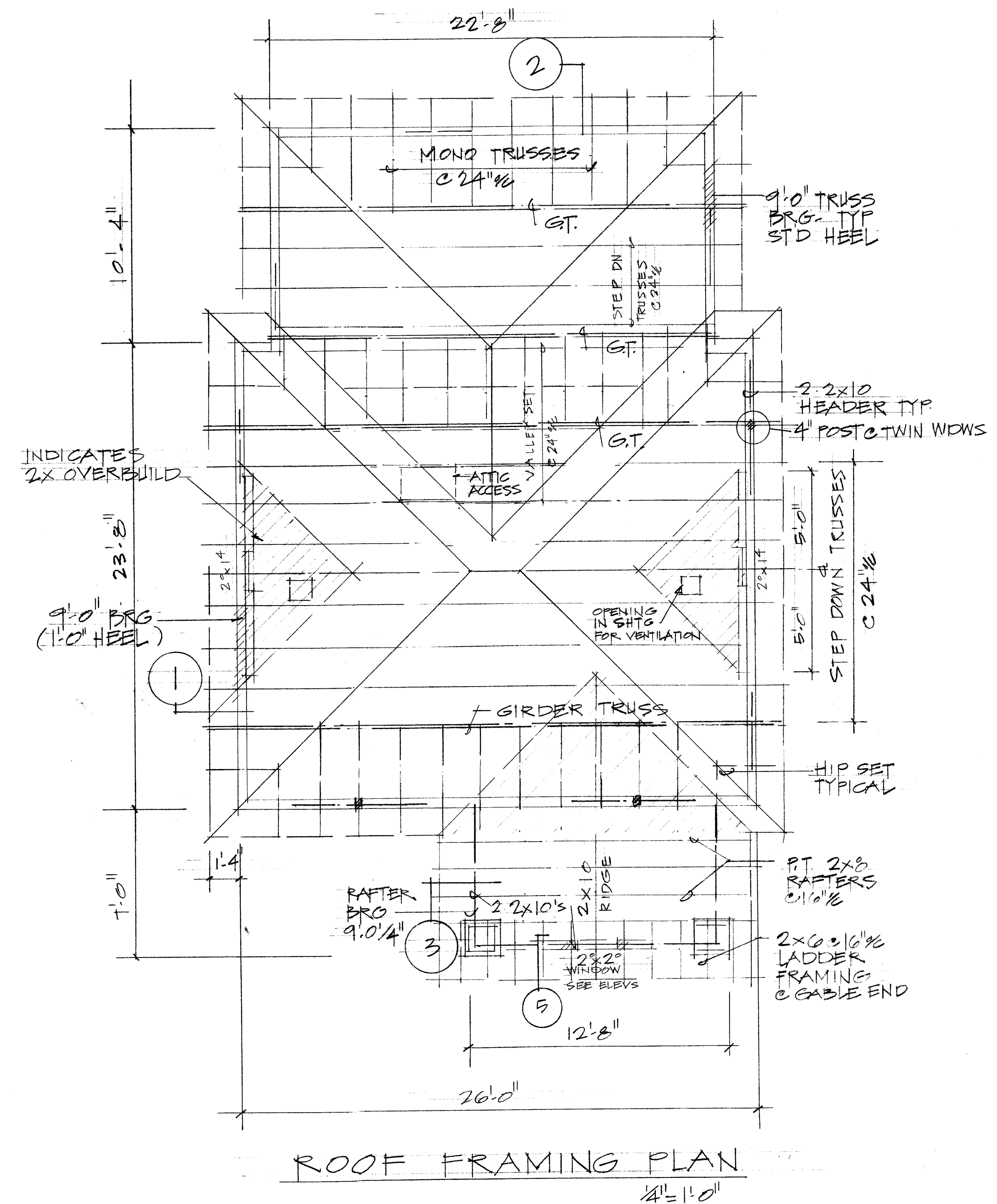
**DOUBLE PRE-ENGINEERED
WOOD TRUSSES** _____

GIRDER TRUSS _____

MICRO-LAM BEAMS _____

NOTE:

1. ALL TRUSSES SHALL BE DESIGNED BY A LICENSED TRUSS MANUFACTURER AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF NORTH CAROLINA.
2. ALL TRUSS LOADS SHALL BE AS FOLLOWS:
- | | | | |
|---------------|-----------|-------|-------------------|
| TOP CHORD: | LIVE LOAD | _____ | 20 PSF |
| | DEAD LOAD | _____ | 10 PSF |
| BOTTOM CHORD: | LIVE LOAD | _____ | 0 PSF |
| | DEAD LOAD | _____ | 10 PSF |
| (UPLIFT) | WIND LOAD | _____ | 16 PSF AT 115 MPH |
3. LATERAL BRACES AND PURLINS SHALL BE PLACED AS REQUIRED BY TRUSS MANUFACTURER.
4. PROVIDE HURRICANE CLIPS AT EVERY OTHER TRUSS.
5. TRUSS CONFIGURATION & HVAC DUCT LAYOUT TO BE COORDINATED.
6. ACTUAL TRUSS LAYOUT MAY VARY - REFER TO SHOP/ERECTION DRAWING PREPARED BY TRUSS SUPPLIER.



ROOF FRAMING PLAN

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date	sheet
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GENERAL

- ## PRODUCTS

- ### EXECUTION

- ## PLUMBING FIXTURES SCHEDULE

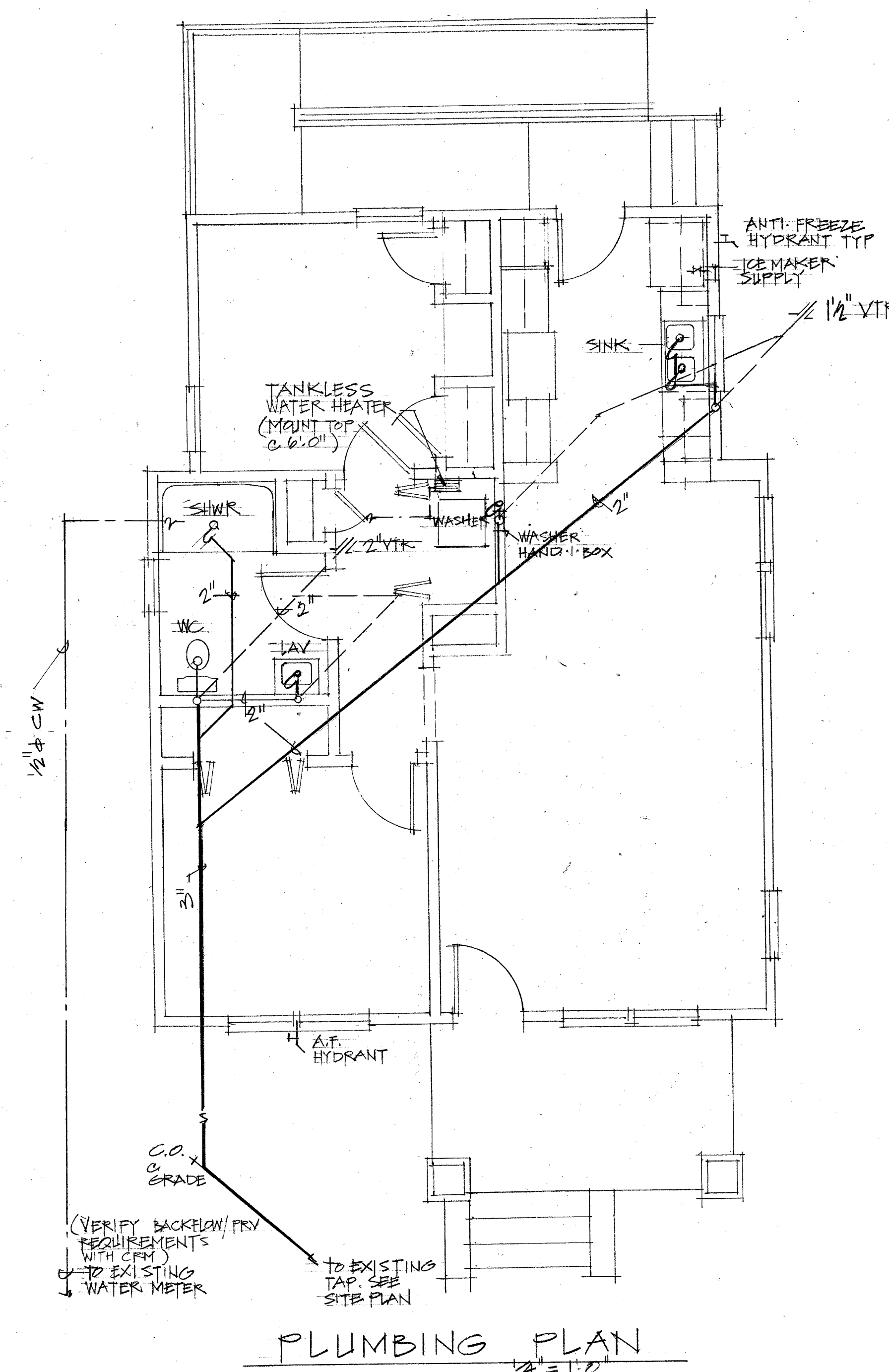
Shower: Barrier Free Design *LSS 26333A75FTT.V2* stainless steel trench drain, with mixing valve, pressure balancing, lever handle, no caulk brass drain, curtain rod

Water Closet: Mansfield, Alto 1.28 EL SMHT-white

Lavatory: Mansfield, *Willow Run*, wall mount with Delta "Foundations" single handle centerset faucet

Kitchen Sink: Elkay, Dayton D23321 33" drop in double basin 22 ga Stainless Steel with Delta Foundations B4410LF Faucet

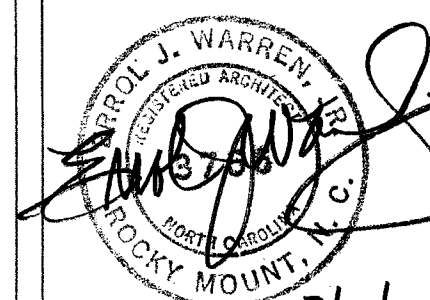
Water Heater: A.O. Smith R2VA 160E240 16kw 2 chamber, electric - 67 A 2- 40 breakers



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date	sheet
project	

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HVAC SPECIFICATIONS

GENERAL

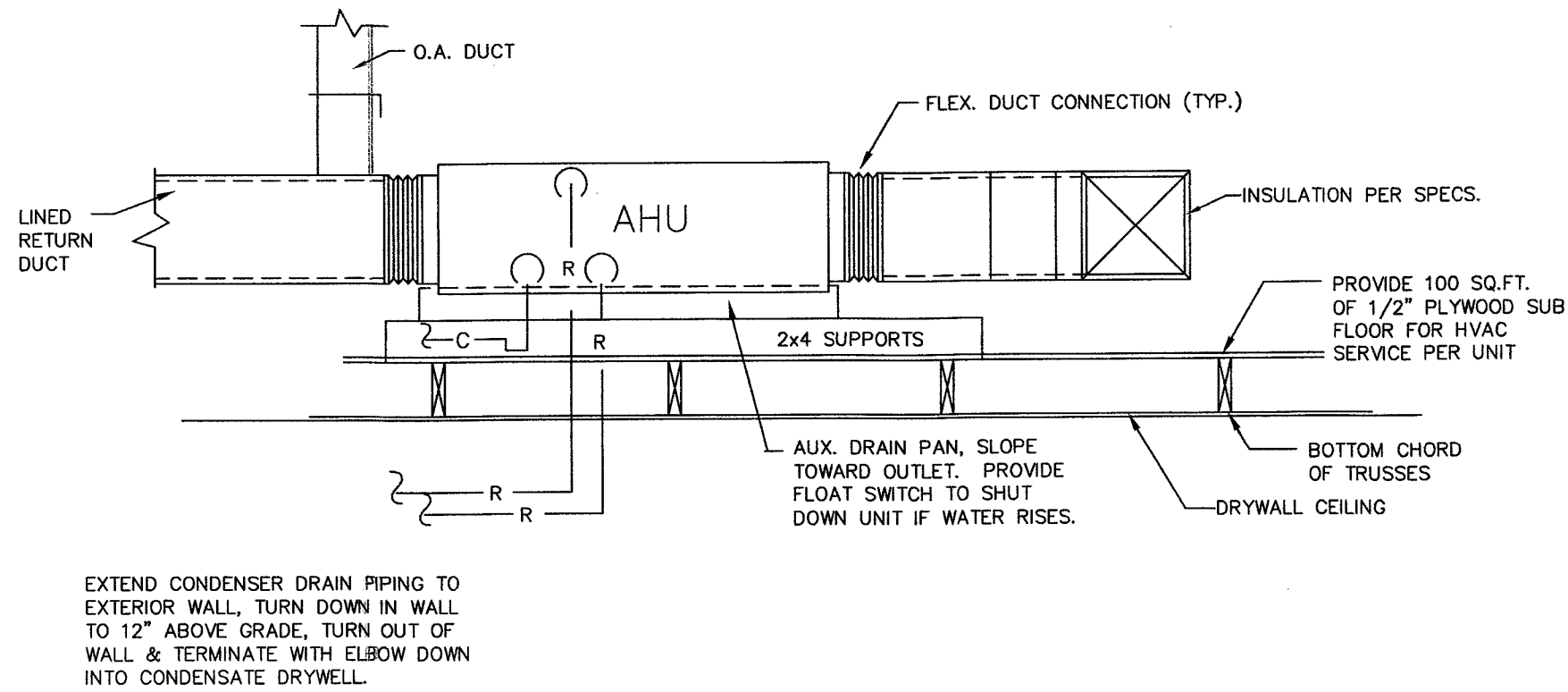
- 1.1 Prior to bidding, HVAC Contractor is to visit site to familiarize himself with existing conditions.
- 1.2 The intent of these plans and specifications is to provide a complete/operable HVAC system fully ducted (supply and return). HVAC Contractor shall notify the Owner prior to bidding if he is unable to provide such system due to conflicts, code changes, errors, or omissions. Further, if there are conflicts with Local or State Codes, such Codes shall have precedence over the plans and specifications, and HVAC Contractor shall notify the Owner in writing prior to bidding. All notifications are to be in writing.
- 1.3 All equipment and accessories are to be installed with manufacturer's recommended service clearances.
- 1.4 Comply with HVAC provisions of N.C. Building Code and local codes throughout.
- 1.5 This contract includes all applicable fees and sales tax.

PRODUCTS

- 2.1 Contractors shall provide: Trane Split System Heat Pumps/Air Handlers as scheduled on drawings.
- 2.2 All duct is to be constructed of galvanized steel sheets in accordance with SMACNA gages and standards (UL Class 0 or Class 1) Class A Flex Duct rated for use shown shall be used where indicated.
- 2.2 Heat-Cool thermostats by Trane or Honeywell are to be programmable with system heat-cool off selection and fan on-auto selection.
- 2.3 The return plenums and sound traps at all units are to have 1" 3/4 lb. density acoustic liners, glued and fastened with pop-rivet or pin-spotter bearing clips on 12" center.
- 2.4 All duct to have 2" fiberglass insulation 1.0 lb density, with foil vapor barrier and U/L label. Insulation to be neatly stapled and taped; and to be Owens-Corning commercial grade.
- 2.5 Sizes given for internally lined duct is inside clear dimension.

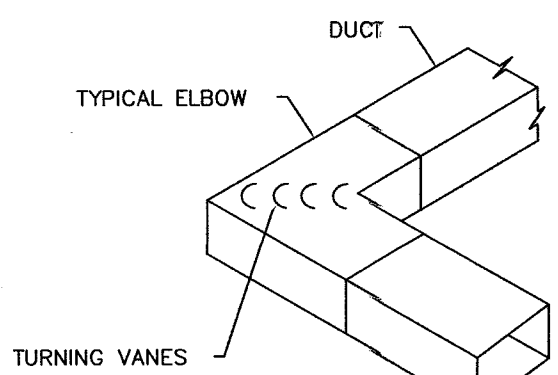
EXECUTION

- 3.1 All refrigerant work to be type "L" copper refrigerant tubing, silver soldered, with 3/4" wall Armaflex insulation. System to be evacuated and charged in strict accordance with manufacturer's recommendation.
- 3.2 This contract includes complete 1-year warranty on all labor and materials. Also, manufacturer's published 5-year compressor warranty applies, and must be pro-rata.



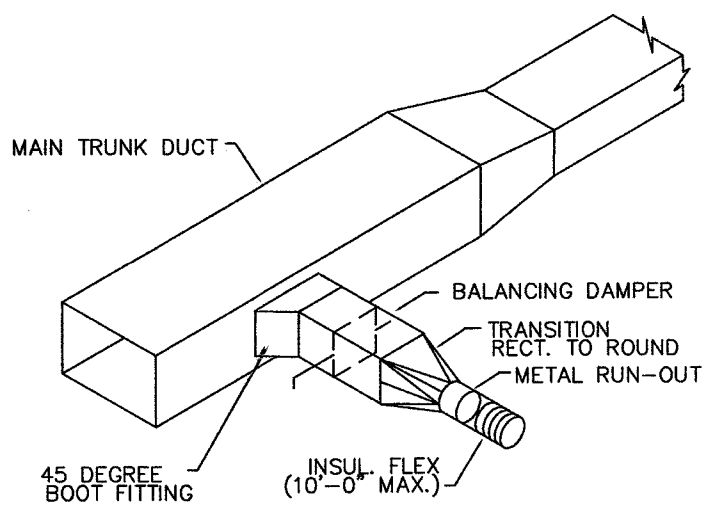
AHU UNIT

NTS



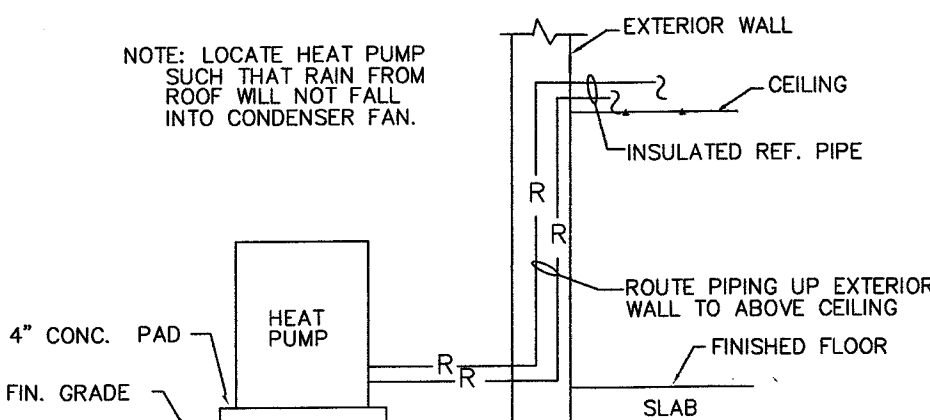
TYPICAL ELBOW

NTS



TYPICAL SUPPLY DUCT BRANCH DETAIL

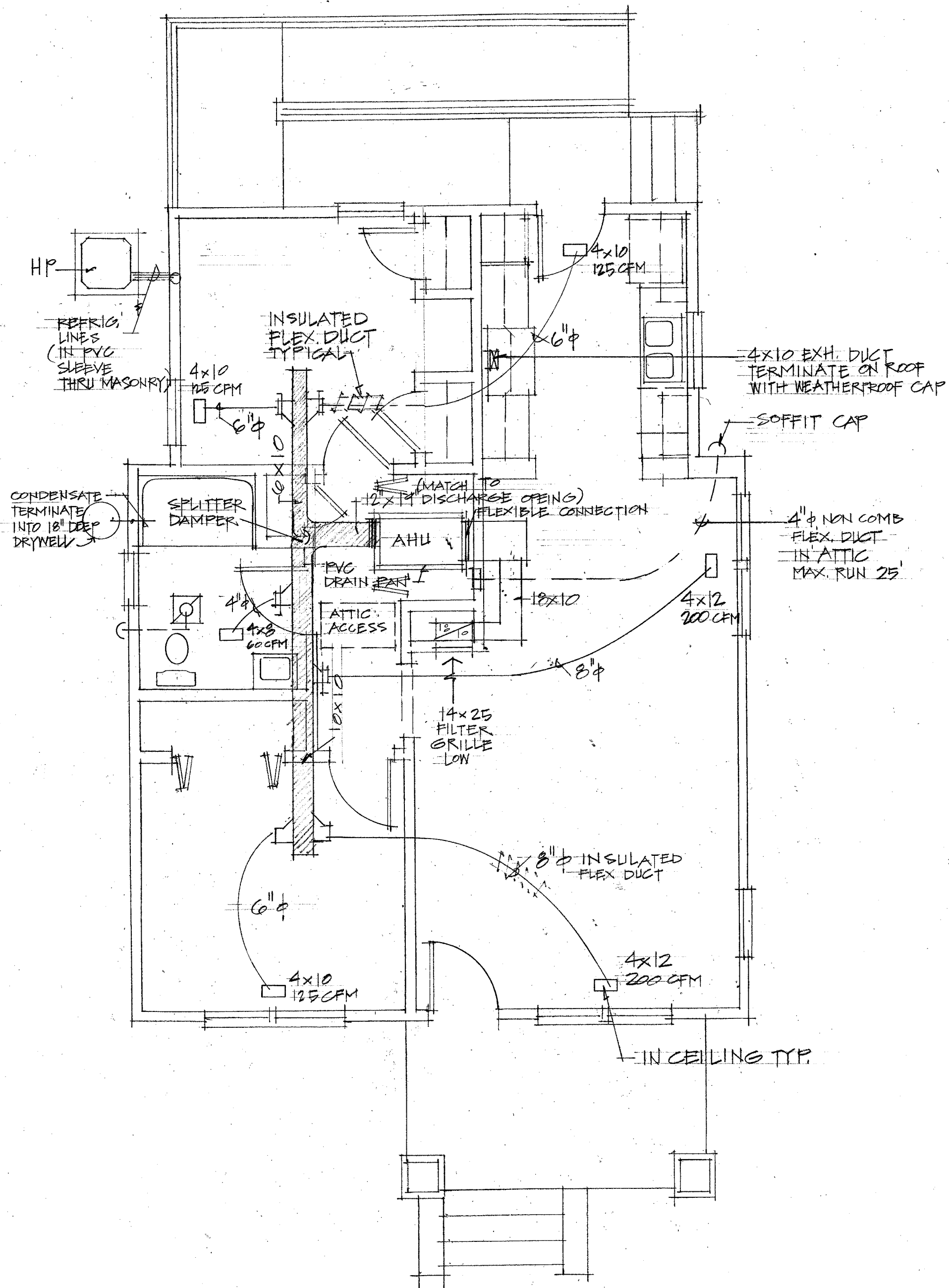
NTS



HEAT PUMP CONDENSER

NTS

HVAC EQUIPMENT SCHEDULE								
UNIT	DESCRIPTION	MODEL #	TOTAL COOLING	AUX HT	CFM @ 0.75 INCH W.G.	VOLTS	M.C.A	DISC
AHU	TRANE CONV. AIR HANDLER	TWE 030C-14		168 KW	1000	200/230 V/60	43	45
HP	TRANE XR 14 HEAT PUMP	2TWR 4018-030	30000 BTUH			208/230 V/60	18	30



MECHANICAL PLAN

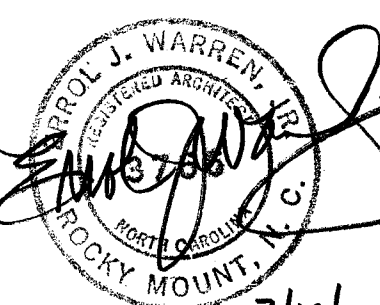
1/4" = 1'-0"

Revisions:

Replacement Residence
623 Branch Street
Rocky Mount, NC

ARCHITECT
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3/11/22

Contractor shall verify and be responsible for all dimensions at job.

July - 21 date sheet
project

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ELECTRICAL SPECIFICATIONS

GENERAL

- 1.1 Prior to bidding, Electrical Contractor is to visit site to familiarize himself with existing conditions.
1.2 Comply with National Electrical Code provisions of N.C. Building Code and local codes throughout.
1.3 This contract includes all necessary fees and sales tax.
1.4 This contract includes complete one-year warranty on all material and workmanship from date of completion.

PRODUCTS

- 2.1 Service conductors are to be run in conduit.
2.2 Service conductors and feeders to be THW copper.
2.3 Branch circuits to be Romex.
2.4 Maximum wattage of lighting per 20A branch circuit - 1440 watts. Maximum number of 120V receptacles per 20A circuit-eight.
2.5 In all instances, wire capacities are to equal or exceed breaker or fuse ratings.
2.6 This contract includes complete power supply to HVAC unit terminals.
2.7 Submit the following items of equipment for approval:
a. Wiring Devices
2.8 Provide lighting fixtures per allowance scheduled in General Requirements.

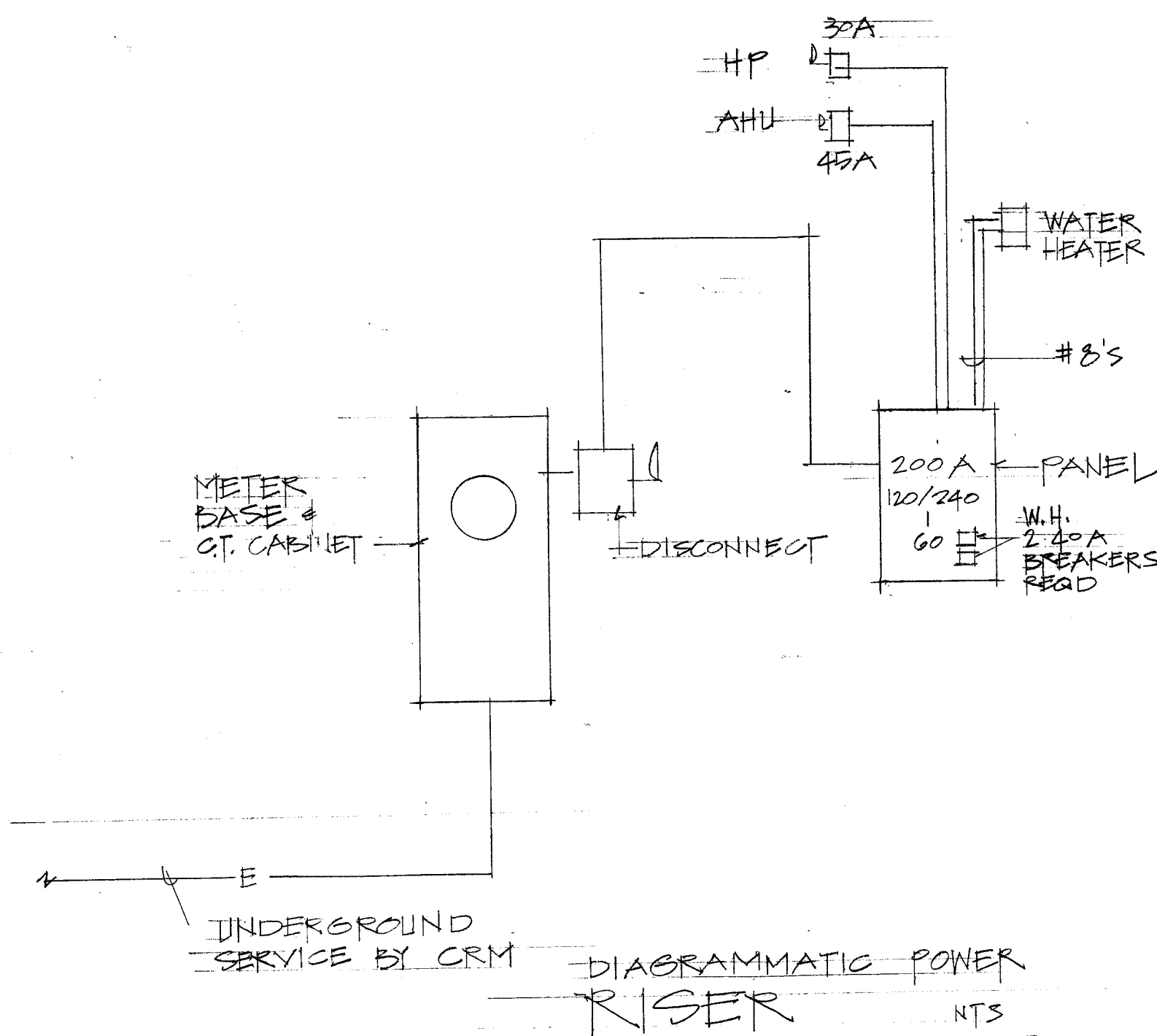
EXECUTION

- 3.1 Fused disconnects are required for multi-motor condensing units.
3.2 Provide 120V W/P GFI servicing receptacle within 15 feet of HVAC equipment.
3.3 Provide GFI receptacles in bathrooms, outdoors; and also as required by N.E.C. and N.C. Building Code.
3.4 Do not install any electrical equipment, accessories, or fixtures without proper code-required clearances, or without manufacturer's recommended service clearances.

ELECTRICAL LOAD SUMMARY

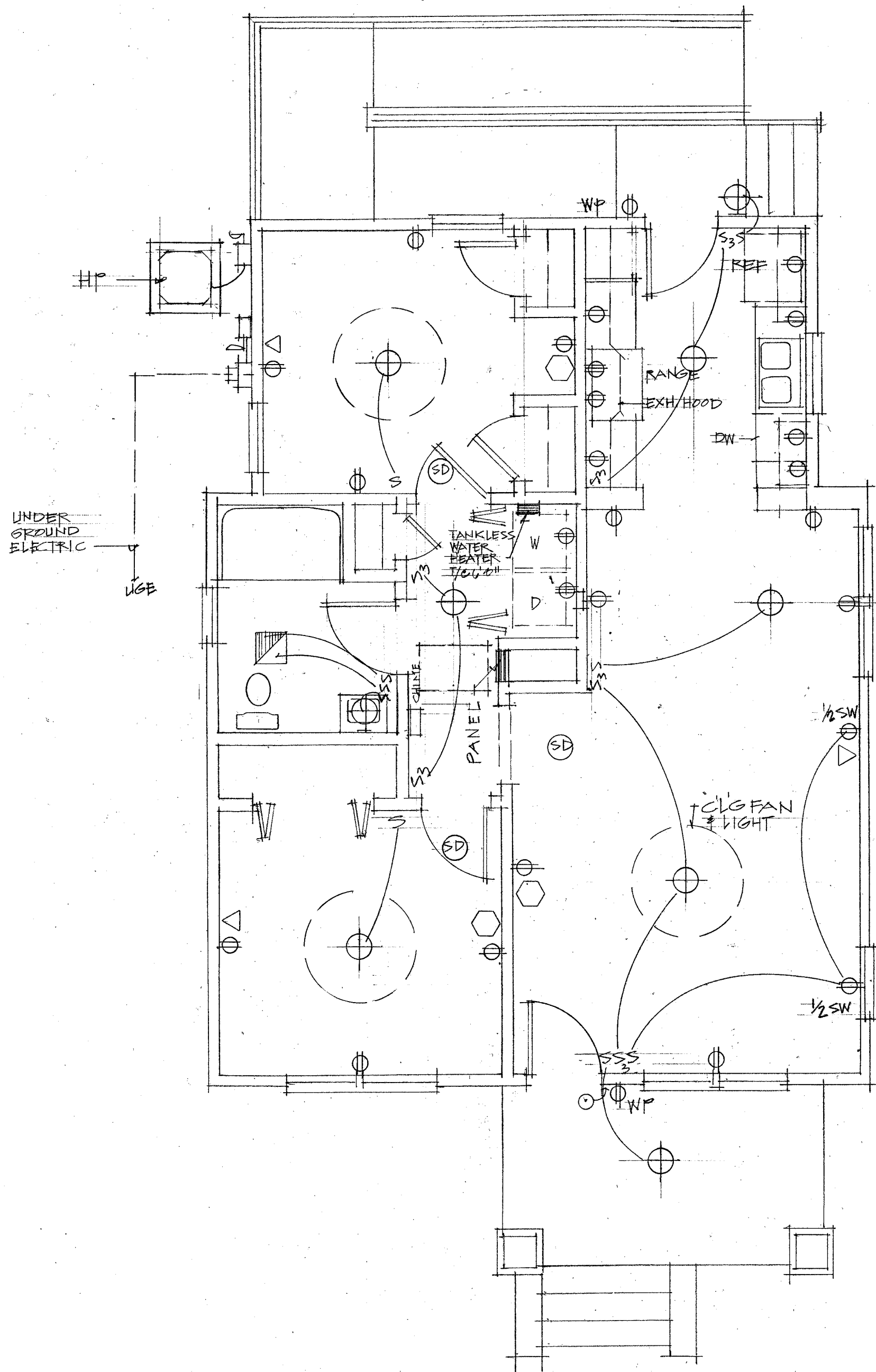
LIGHTING	1.1 (1.25%)=	1.375	
RECEPTACLES	2.8 -	2.8	
RANGE	8.0 (65%)=	5.2	
SMALL APPLIANCE	4.5 (65%)=	2.92	
HVAC	18 (100%)	18	
WATER HTR	16 (100%)	16	
		46.3 KW	

46,300 / 240 = 191.91 A Use 200 Amp Panel



ELECTRICAL LEGEND

- △ TELEPHONE OUTLET
- ⬢ CABLE TELEVISION OUTLET
- ⊕ DUPLEX RECEPTACLE
- ⊕ 1/2 DUPLEX RECEPTACLE - BOTTOM HALF CONTROLLED BY SWITCH
- ⊕ 220/208V RECEPTACLE
- ⊕ WP DUPLEX RECEPTACLE - WEATHER PROOF
- \$ SINGLE-POLE SWITCH
- S₃ 3-WAY SWITCH
- ⊕ PADDLE FAN - CEILING MOUNTED
- ⊕ SMOKE DETECTOR
- ⊕ DOOR BELL SWITCH
- ⊕ DOOR BELL CHIME
- ⊕ JUNCTION BOX
- ⊕ LIGHT - CEILING MOUNTED
- ⊕ LIGHT - WALL-MOUNTED
- ⊕ FAN/LIGHT COMBO



POWER & LIGHTING PLAN
1/4" = 1'-0"

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ARCHITECT
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3/17/22

Contractor shall verify and be responsible for all dimensions at job.

July - 21 date sheet
project
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SPECIFICATIONS

GENERAL REQUIREMENTS

Section 01010

Contractor shall comply with all applicable local, state, and federal codes, ordinances, and regulations.

Contractor shall comply with applicable requirements of Manual of Accident Prevention in Construction by AGC and/or the U.S. Occupational Safety and Health Act of 1970.

Contractor shall provide an approved fire extinguisher within the work area.

Contractor shall guarantee all materials and workmanship for one year after final acceptance of entire Project unless specified otherwise.

All equipment shall be installed in accordance with manufacturers recommendations and instructions.

Contractor shall verify all dimensions in the field.

Contractor shall be responsible to the Owner for any damage to previously existing or newly placed facilities which is caused by work operations under this contract, whether accidental or made necessary by restoration or replacement as directed by the Architect or the Owner, at no additional cost to the Owner. Restoration of damaged work is subject to the approval of the Architect.

Contractor shall furnish all labor, materials, and equipment necessary to complete all work in full accordance with construction documents.

All colors not specified shall be as selected by the Architect.

All precautions shall be taken to protect existing vegetation during construction and demolition. Cut roots of trees only as required, and only upon approval of the Architect.

AIA Document A201, General Conditions of the Contract for Construction, 2018 edition, is hereby made part of these construction documents.

Contractor shall secure and pay for all necessary permits, inspections and fees.

All of the Contractor's work, storage of materials, and all other activity, must be confined to the immediate area of the Project, as defined by the construction documents and by the Owner. Any use of public space is not permitted except with specific approval from the Owner.

Contractor shall arrange for and pay the cost of water, fuel, electrical energy, and operating personnel required to properly execute the Work. The Contractor will provide the temporary utilities required to properly protect work and materials against damage by the effects of weather, atmospheric conditions, and provide critical application temperatures as required herein, and to facilitate completion of the Work.

ALLOWANCES

Section 01020

This section specifies administrative and procedural requirements governing handling and processing allowances.

Selected materials and equipment, and in some cases their installation, are shown and specified in the Contract Documents by allowances. Allowances have been established in lieu of additional requirements and to defer selection of actual materials and equipment to a later date when additional information is available for evaluation. Additional requirements, if necessary, will be issued by Change Order.

At the earliest feasible date after Contract Award, advise the Architect of the date when the final selection and purchase of each product or system described by an allowance must be completed in order to avoid delay in performance of the Work.

When requested by the Architect, obtain proposals for each allowance for use in making final selections include recommendations that are relevant to performance of the work.

Purchase products and systems as selected by the Architect from the designated supplier.

Submit proposals for purchase of products or systems included in allowances, in the form specified as Change Orders.

Submit invoices or delivery slips to indicate actual quantities of materials delivered to the site for use fulfillment of each allowance.

Inspect products covered by an allowance promptly upon delivery for damage or defects.

Coordinate materials and their installation for each allowance with related materials and installation to insure that each allowance item is completely integrated and interfaced with related construction activities.

SCHEDULE OF ALLOWANCES:

Light Fixtures & Ceiling Fans \$1,250.00
(allowance for light fixtures & ceiling fans only; all electrical work and installation of fixtures should be included in Base Bid)
Floor Finishes: \$2,000
Door Hardware: \$85/door
Toilet Accessories: \$1,500.00
Grab rails, towel bars, toilet paper dispenser

Appliances:(Refrigerator, Dishwasher, Range, Exhaust Hood, Washer Dryer) — \$4,800.00

PROJECT COORDINATION

Section 01040

Coordinate construction activities included under various sections of these Specifications to assure efficient and orderly installation of each part of the Work. Coordinate construction operations included under different Sections of the Specifications that are dependent upon each other for proper installation, connection, and operation.

Where installation of one part of the Work is dependent on installation of other components, either before or after its own installation, scheduled construction activities in the sequence required to obtain the best results.

Where availability of space is limited, coordinate installation of different components to assure maximum accessibility for required maintenance, service, and repair.

Make adequate provisions to accommodate items scheduled for later installation.

Coordinate scheduling and timing of required administrative procedure with other construction activities to avoid conflicts and to insure orderly progress of the Work. Such administrative activities include, but are not limited to, the following preparation of schedules; installation and removal of temporary facilities; delivery and processing of submittals; progress meetings; project close-out activities.

Coordinate construction activities to insure that operations are carried out with consideration given to conservation of energy, water and materials.

Comply with manufacturers installation instructions and recommendations, to the extent that those instructions and recommendations are more explicit or stringent than requirements contained in Contracts Documents.

Inspect materials or equipment immediately upon delivery and again prior to installation. Reject damaged and defective items.

Provide attachment and connection devices and methods necessary for securing Work. Secure work true to line and level. Allow for expansion and building movement.

Provide uniform joint widths in exposed work. Arrange joints in exposed work to obtain the best visual effect. Refer questionable choices to Architect for final decision.

Recheck measurements and dimensions, before starting each installation.

Install each component during weather conditions and Project status that will insure the best possible results. Isolate each part of the completed construction from incompatible material as necessary to prevent deterioration.

Coordinate temporary enclosures with required inspections and test, to minimize the necessity of uncovering completed construction for the purpose.

Where mounting heights are not indicated, install individual components at standard mounting heights recognized within the industry for the particular application indicated. Refer questionable mounting height decisions to Architect for final decision.

During handling and installation, clean and protect construction in progress and adjoining materials in place. Apply protective covering where required to insure protection from damage or deterioration at Substantial Completion.

Clean and maintain completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to insure operability without damaging effects.

DEFINITIONS AND STANDARDS

Section 01090

DEFINITIONS:

Indicated refers to graphic representations, notes or schedules on the Drawings, or other paragraphs or schedules in the Specifications, and similar requirements in Contract Documents. Where items such as "shown," "noted," "scheduled," and "specified" are used, it is to help locate the reference; no limitation on location is intended except as specifically noted.

Directed Terms such as "directed," "requested," "authorized," "selected," "approved," "required," and "permitted" mean "directed by the Architect," "requested by the Architect," etc. However, no implied meaning shall be interpreted to extend the Architect's responsibility into the Contractor's area of construction supervision.

Approve The term "approved," where used in conjunction with the Architect's Action on the Contractor's submittals, applications, and requests, is limited to the responsibilities and duties of the Architect stated in General and Supplementary Conditions. Such approval shall not release the Contractor from responsibility to fulfill Contract Document requirements, unless otherwise provided in the Contract Documents.

Regulation The term "Regulations" includes laws, statutes, ordinances, and lawful orders issued by authorities having jurisdiction, as well as rules, conventions, and agreements within the construction industry that control performance of the work, whether they are lawfully imposed by authorities having jurisdiction or not.

Furnish The term "furnish" is used to mean "supply and deliver to the Project Site, ready for unloading, unpacking, assembly, installation, and similar operations."

Install The term "install" is used to describe operations at the Project Site including the actual "unloading, unpacking, assembly, erection, placing, anchoring, applying, working to dimension, furnishing, curing, protecting, cleaning, and similar operations."

Provide The term "provide" means "to furnish and install, complete and ready for the intended use."

Installer An "installer" is an entity engaged by the Contractor, either as an employee or sub-contractor for performance of a particular construction activity, including installation, erection, application and similar operations.

Installers are required to be experience in the operations that they are engaged to perform. The term "experienced" when used with the term "installer" means having a minimum of 5 previous projects similar in size and scope to this Project, and familiar with the precautions required, and having complied with requirements of the authority having jurisdiction.

Project Site is the space available to the Contractor for performance of the Work, either exclusively or in conjunction with others performing other construction as part of the Project. The extent of the Project Site is shown on the Drawings, and may or may not be identical with the description of the land upon which the Project is to built.

Testing Laboratories A "testing laboratory" is an independent entity engaged to perform specific inspections or tests, either at the Project Site or elsewhere, and to report on, and if required, to interpret results of those specifications or test.

SPECIFICATION FORMAT:

These Specifications are organized into Divisions, Sections, or Trade Headings based on the Construction Specifications Institute's 16-Division Format and the MASTERFORMAT Numbering system. This organization conforms generally to recognized construction industry practice.

DRAWING TOOLS:

Graphic symbols used on the Drawings are those recognized in the construction industry for purposes indicated.

INDUSTRY STANDARDS:

Applicability of Standards Except where Contract Documents include more stringent requirements, applicable construction industry standards have the same force an effect as if bound or copied directly into the Contract Documents. Such standards are made a part of the Contract Documents by reference.

Referenced Standards take precedence over standards that are not referenced but recognized in the construction industry as applicable.

Unreferenced Standards Except as otherwise limited by the Contract Documents, standards not referenced but recognized in the work. The Architect will decide whether a code or standard is applicable, or which of several are applicable.

Conflicting Requirements Where compliance with two or more standards is specified, and they establish different or conflicting requirements for minimum quantities or quality levels, the most stringent requirement will be enforced, unless the Contract Documents indicate otherwise. Requirements that are different, but apparently equal, and uncertainties as to which quality level is more stringent, shall be referred to the Architect for a decision before proceeding.

Copies of Standards Each entity engaged in construction of the Project is required to be familiar with industry standards applicable to that entity's construction activity. Copies of applicable standards are not bound with the Contract Documents. Where copies of standards are needed for performance of a required construction activity, the Contractor shall obtain copies directly from the publication source.

PROJECT CLOSE-OUT

Section 01700

When Project nears completion, the Contractor shall prepare a list of items to be completed. This list shall be presented to the Architect for his review, verification and/or amendments to be made there to. Completion shall be as defined in the General Conditions.

If the Work is found by Architect to be complete, as defined by the documents, the Architect will prepare a Certificate of Completion, for the approval and acceptance of the Contractor and the Owner, appending thereto the list of items to be completed or corrected.

Upon receipt of the Certificate of Completion, the Contractor shall turn over all items required by this Section to the Architect for distribution to the Owner, or directly to the Owner or his appointed representative, if the Architect so orders.

If the Architect does not concur with the Contractor's claim of completion, because his own inspection discloses that the Work has not been completed in accordance with the above defined, the Contractor shall be so notified and a subsequent inspection shall be scheduled for which the Contractor shall prepare a list of items to be completed or corrected.

In no case shall the Contractor claim completion, or request inspections to determine completion, until all required inspections, by various governmental regulatory agencies, have been made, and certificates determining compliance with governing codes and regulations have been delivered to the Architect.

The Contractor shall provide guarantees and warranties for all work and for all operating equipment as called for in various Sections of the specifications.

The guarantee and warranty period shall begin on the date appearing on the Certificate of Completion, unless a later date is called for in individual Sections of the Specifications.

Final inspection will be made by the Architect upon notification by the Contractor that all remaining work has been completed. If all work is acceptable and the Project appears to be complete, a written recommendation will be prepared by the Architect and transmitted to the Owner.

CLEANING

Section 01710

For the purpose of fire protection, store volatile waste in covered metal containers, and remove from premises daily. Do not store volatile materials on the premises where hazardous.

Conduct cleanup and disposal operations to comply with local ordinances and anti-pollution laws. Take all necessary precautions to protect workmen and residents from hazardous materials.

Disposal of volatile fluid wastes (such as mineral spirits, oil, or paint thinner) in storm or sanitary sewer systems or into ditches or waterways is not permitted. Comply with local ordinances and anti-pollution laws.

Maintain premises free from accumulation of waste, debris, and rubbish.

At completion of Work, remove all waste materials, rubbish, tools, equipment, machinery, and surplus materials, and clean all sight-exposed surfaces; leave Project clean and ready for occupancy.

EARTHWORK

Section 02200

Locate existing utilities by hand excavation and provide protection from damage. Cooperate with utility companies for maintaining services. Do not break utility connections without notifying Architect a minimum of 48 hours in advance and providing acceptable temporary services.

Repair damages to existing utilities as directed by utility company.

Protect structures, utilities, sidewalks, pavements, and other facilities in areas of Work. Barricade open excavations and provide warning lighting. Comply with regulations of authorities having jurisdiction.

Compact each layer of backfill and fill soil materials and the top 12" of subgrade for structures, slabs, steps, and pavements to 90% maximum density for cohesive soils and 95% relative density for cohesionless soils. At lawns or unpaved areas, 85% maximum density for cohesive soils and 90% relative density for cohesionless soils.

TERMITE CONTROL

Section 02281

Provide soil treatment for termite control, comply with manufacturer's instructions and recommendation for work, including preparation of substrate and application, in addition to requirements of these specifications.

Engage a licensed professional pest control operator for application of soil treatment solution. Do not apply soil treatment solution until excavation, filling, and grading operations are completed, except as otherwise required in construction operations.

To insure penetration, do not apply soil treatment to frozen or excessively wet soils or during inclement weather. Comply with handling and applications instruction of soil toxicant manufacturer.

Submit manufacturer's technical data and application instruction. Furnish written warranty certifying that applied soil poisoning treatment will prevent infestation of subterranean termites and that, if subterranean termite activity is discovered during warranty period, Contractor will retreat soil and repair damage caused by termite infestation, at no cost to the Owner.

Use an emulsible concentrate termiticide for dilution with water, especially formulated to prevent infestation by termites. Fuel oil will not be permitted as a diluent. Provide a solution consisting of one of the following chemical elements and concentrations:

Chloro-pyrifos ("Dursban TC"); 1.0 percent in water emulsion
Permethrin ("Dagnet, " Torpedo"); 0.5 percent in water emulsion

Other solutions may be used as recommended by Applicator provided they are also acceptable to Architect and approved for intended application by jurisdictional authorities. Use only soil treatment solutions which are not injurious to planting.

Post sign in area of application to warn workers that soil termiticide treatment has been applied. Remove signs when areas are covered by other construction.

Reapply soil treatment solution to areas disturbed by subsequent excavation, landscape grading, or other construction activities following application.

Remove foreign matter which could decrease effectiveness of treatment on areas to be treated. Loosen, rake, and level soil to be treated, except previously compacted areas under slabs and foundations. Toxicants may be applied before placement of compacted fill under slabs, if recommended by toxicant manufacturer.

Apply soil treatment solution at rates recommended by soil toxicant manufacture. Allow sufficient time for drying after application, before beginning construction activities connected with the soil.

CONCRETE

Section 03100

Concrete operations shall comply with A.C. I. standards.

Concrete compressive strength: 3000 PSI minimum at 28 days.

Reinforcing bars: A.S.T.M. A615 Grade 60.

Reinforcing bar placing accessories: in accordance wit CRSI specifications.

Welded wire fabric W.W.F.: A.S.T.M. A185.
Minimum concrete coverage of reinforcement: Footing 3" bottom and side.

Earth supported slab: 4" thick, reinforced with 6 x 6 -W10 x W10 WWF. The slab shall be placed over Moistap Reinforced Vapor Barrier as manufactured by St. Regis.

Anchor bolts shall conform to A.S.T.M. A-36.

Detail reinforcing in accordance to A.C.I. 315. Reinforcing shall not be welded.

UNIT MASONRY

Section 04200

Brick Masonry: comply w/ ASTM c216, grade SW, type FBS face brick.

Concrete Masonry: 8"x8"x16" standard weight complying with ASTM C90, grade N, type 1.

Mortar shall comply with ASTM C270, type M.

Provide masonry accessories including anchorages & flashings as shown on drawings.

STRUCTURAL LUMBER

SECTION 06000

CODES:

N.C. State Building Code 2018 Edition
American Institute of Timber Construction
(Timber Construction Manual, latest edition)

DESIGN LIVE LOADS:

Roof 20 PSF
Floors 40 PSF
Wind 115 MPH

TIMBER SPECIFICATIONS:

Structural timber shall be #2 KD S.Y.P. (M.C. 19%), or equivalent as approved by the structural engineer, unless otherwise noted on drawings, with allowable stresses as follows:

Bending stress 1,200 PSI
Shear stress 90 PSI
Compression stress parallel to grain 1,000 PSI
Modulus of Elasticity 1,600,000 PSI

STRUCTURAL SHEATHING:

Wall sheathing shall be 1 1/2" thick Zip-R (R6.6) system structural rated sheathing Exp. 2.

Roof sheathing shall be 1/2" thick Zip System Sheathing

Tape all joints with Zip System tape in accordance with manufacturer's installation instructions.

Nail panels w/100 common nails at 6" O.C. along supported panel edges and at 12" O.C. at intermediate supports.

TREATED MATERIALS:

Pressure treated framing members shall be 0.25 CCA treated timber.

EXECUTION:

All bearing stud walls shall have solid blocking at mid-height.

Wood to wood framed connections are to be made with bolts and/or joist hangers as shown. Toe-nailing is not permitted.

Maximum spans of dimensional lumber used for jack rafters at hipped roof sections shall be in accordance with "Span tables for Joists and Rafters" as published by the National Products Association.

Hip rafters shall be two(2) inches deeper than jack rafters.

All trusses and rafters shall be strapped or hurricane clipped to supporting members at all bearing points.

CARPENTRY

Section 06100

All lumber shall conform to grading rules of manufacturer's association under whose rules it produced. All lumber shall bear grade and trademark. Moisture content shall be : 10% for finished woods and 19% for other woods.

Keep materials under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces. Stock lumber as well as plywood and other panels; provide for air circulation within and around stacks and under temporary coverings including polyethylene and similar materials.

For lumber and plywood pressure treated with waterborne chemicals, "sticker" between each course to provide air circulation.

Fit carpentry work to other work; scribe and cope as required for accurate fit. Correlate location of furring, nailers, blocking, grounds, and similar supports to allow attachment of other work.

Nominal sizes are indicated, except as shown by detail dimensions. Provide actual sizes as required PS 20, for moisture content specified for each use.

Studs shall be stud grade S.Y.P. , Douglas fir, or spruce. Framing lumber is to be #2 KD S.Y.P.

Underlayment for resilient tile if required shall be 1/4" underlayment INT-APA.
(Use exterior glue in laundry areas.)

Fasteners and Anchorages Provide size, type, material and finish as indicated and as recommended by applicable standards, complying with applicable Federal Specifications for nail, staples, screws, bolts, nuts, washers, and anchoring devices. Provide metal hangers and framing anchors of the size and type recommended by the manufacturer for each use, including recommended nails.

All exposed nails in wood trim shall be set and filled with an approved compound, and sanded to a smooth finish.

All nails for exterior siding, exterior trim, fascias and railings, and other exterior fasteners, including bolts and joist hangers shall be stainless steel annular ring type. Bolts and joist hangers shall be hot dipped galvanized.

Use finish nails for finish work. Attach grounds, nailers and blocking to substrate as required to support applied loading. Wooden nailer shall be able to resist an uplift force of 60 lbs. per linear foot and shall conform to the requirements of Loss Prevention Data 1-49 of the Factory Mutual System.

Nailing and spiking of framing shall be in accordance with the N.W. P.A. Manual for House Framing. All plywood shall be installed in strict accordance with the American Plywood Association's printed instructions for the use indicated.

All wood blocking, furring, stripping, etc., including all concealed members in contact with concrete, shall be pressure treated and comply with applicable requirements of the American Wood Preservers Bureau (AWPB-LP-2).

Contractor shall lay out, cut, fit and erect blocking and stripping for all items of carpentry and trim. Wood blocking shall be cut square, closely fitted, accurately set to required lines on levels and rigidly secured in place. Set carpentry work accurately to required levels and lines, with member plumb and true and accurately cut and fitted. Securely attach carpentry work to substrate by anchoring and fastening as shown and as required by recognized standards and applicable codes.

THERMAL AND MOISTURE PROTECTION

Section 07210

Building insulation (Section 07210) - HI-density fiberglass in thicknesses and facings as shown on plans or a required by code.

ROOFING

Section 07300

Provide Elk Prestique II Fiberglass shingles. (Color from manufacturer's standard)

VINYL SIDING and TRIM

Section 07600

Provide solid vinyl siding-clapboard pattern, 4 1/2" exposure and accessories required a complete job

Soffit and Porch Ceiling to receive perforated vinyl soffit 4" T & G look

FLASHING AND SHEET METAL

Section 07600

All flashing and sheet metal work shall be prefinished aluminum, or where concealed galvanized metal - in gages and weights appropriate for the specific function. (See plans)

DOORS

Section 08211

Interior: Shall be 1 3/8" stile and rail - flat panel - moulded hardboard, fir

Exterior: FRONT DOOR: ThermoTru FCM4813 X SDLF-1 clear glass, SDL

REAR DOOR: ThermoTru-S1350 clear glass, SDL

WINDOWS

Section 08610

Windows: shall be solid vinyl, Series 1500 (new construction) as manufactured by PlyGem
Provide low E II (Argon gas filled) insulating glass. 2 over 1 lites. SDL grilles (1 1/4")
Provide screens at all operable units.

GYPSUM WALLBOARD SYSTEM

Section 09260

Install 1/2" Gypsum panels at right angles to framing members.

Tape and finish to incorporate drywall trim and accessories required (i.e., casing beads and j mold)

Tape and finish joints making 3-complete passes.

Drywall work to be finished:
1. Ceilings - Smooth finish to receive paint.
2. Walls - Smooth finish to receive paint.

PAINTING

Section 09900

Provide paint finishes as scheduled:

1. Standing and running wood trim, casework - 1 coat Primer, 2 coats - Latex enamel equal to Benjamin Moore - Advance.

Drywall Ceilings: 1 coat Primer
1 finish coat latex acrylic - equal to Benjamin Moore - Regal Select Wall Satin.

Drywall Walls: 1 coat primer
2 finish coats - Latex Acrylic - equal to Benjamin Moore - Regal Wall Satin

SPECIALTIES

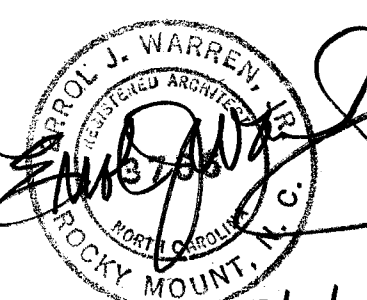
Section 10100

Attic Access: Provide EZ Hatch standard access door R-50 by Battic Energy Conservation Products 1-800-222-5932

Replacement Residence
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Rocky Mount, NC

ARCHITECT
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Contractor shall verify and be responsible for all dimensions at job.

July -21 date sheet