

GENERAL NOTES

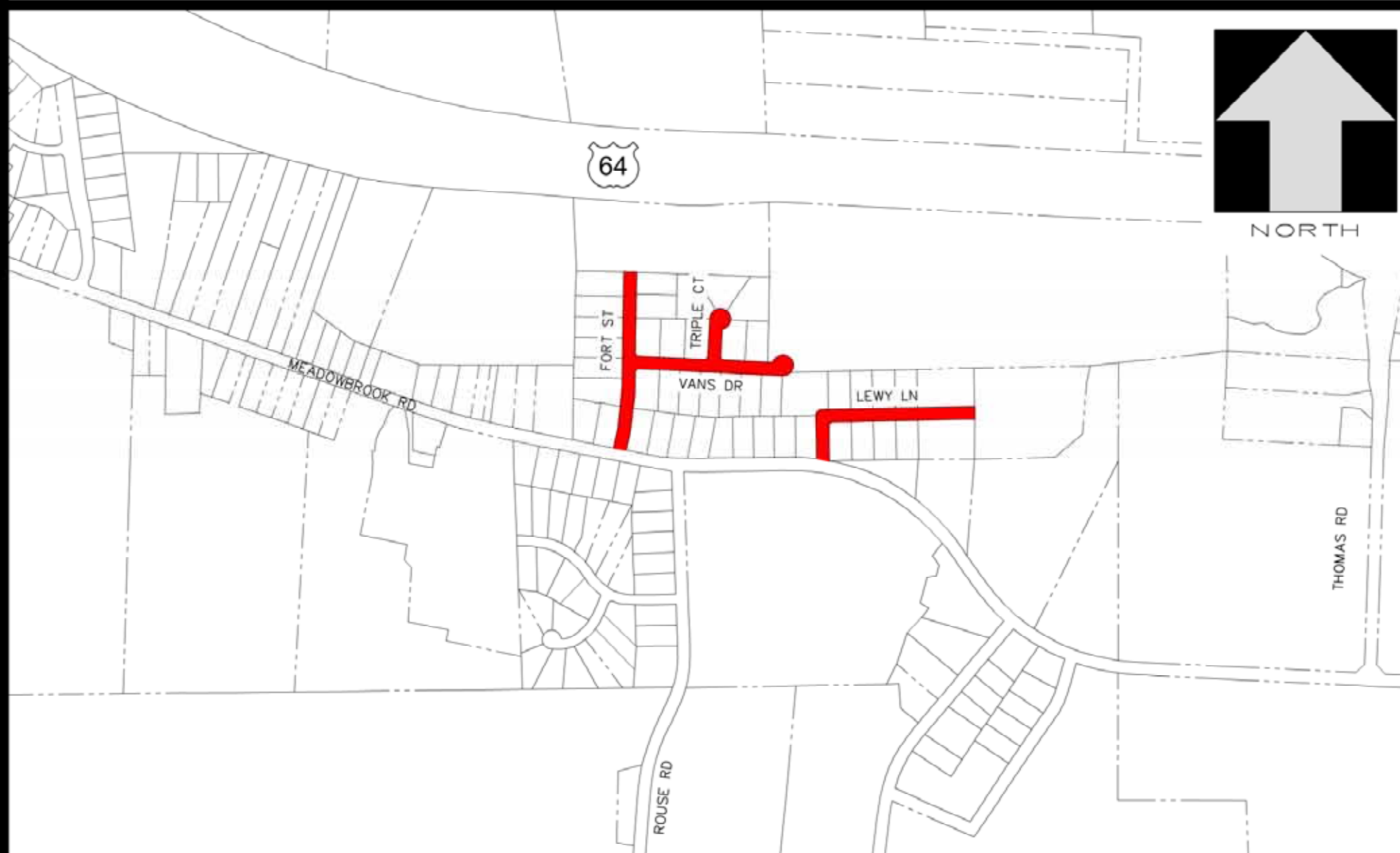
Last Revised 4/18/22

- The purpose of this project is the paving of approximately 3,500 square yards of existing unsurfaced roadway, resurfacing of approximately 4,300 square yards of existing paved roadway, minor clearing and grubbing, installation of driveway culverts, mass grading and reconstruction of existing roadside swales.
- "Spot shot" topographical information shown hereon obtained from an actual field survey performed by Hugh Clark, PLS, City of Rocky Mount Survey Manager. Additional topographic and boundary information obtained from the City of Rocky Mount and Edgecombe County GIS. Horizontal Datum is NAD '83/2007 NC State Plan Coordinates. Reference Datum is NAVD 88. Topographical information shown hereon must be verified by Contractor.
- Boundary information obtained from GIS is shown for reference only. Consult Professional Land Surveyor for boundary data. No location of property boundaries, easements, wetland delineation, flood zones or buffers was performed, and must be done by a Professional Land Surveyor. This document is NOT to be used as a Deed of Easement, nor is it to be construed to permit the location, description, establishment or reestablishment of property lines or descriptions of land boundaries for conveyance.
- All materials, construction, workmanship shall meet the City of Rocky Mount Land Development Code and Manual of Standards and Design, NCDEQ and NCDOT requirements, as well as specifications and conditions on these plans. City Standards shall be met.
- Contractor and subcontractors shall comply with all OSHA requirements and pertinent provisions of the "Manual of Accident Prevention in Construction" issued by AGC of America, Inc., and the Safety and Health Regulations for Construction issued by the U.S. Department of Labor.
- Contractor shall saw-cut to provide smooth transition at tie-in to existing edge of pavement where applicable.
- Contractor to provide 10 ft wide x 7 ft paved turnout at each existing driveway.
- No new water taps or waterline extensions are proposed for this project. Municipal sewer extensions are not proposed for this project.
- Remove/ relocate existing mailboxes (same day) per NCDOT Section 107-12 of the NCDOT Standard Specifications for Roads and Structures and coordinate with the US Postal Service.
- EXISTING UTILITIES**
 - The Contractor shall be responsible for reviewing and verifying all existing site conditions. Any adverse existing conditions affecting work shown shall be brought to the attention of the engineer for possible clarification or reconciliation.
 - The contractor shall be responsible for the repair of any pavement or existing utilities that may be damaged due to construction activity. Exercise caution.
 - Existing utility locations shown, if any, are approximate and shall be verified in the field prior to beginning work. Contractor shall contact the 811 One Call Center for locations of existing utilities prior to beginning construction.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF THE LOCATION AND DEPTH OF ALL UTILITIES AND STRUCTURES WHICH CROSS THE WORK SITE OR WHICH MAY BE AFFECTED BY HIS OPERATIONS.**
 - Contractor is responsible for determination or discovery of existing underground storage tanks (UST), septic tanks, abandoned utility lines, graves or cemeteries that may exist on the site.
 - Contractor shall exercise extreme caution when working under, around, and/or adjacent to existing power lines. Electrical lines and power poles are owned and maintained by City of Rocky Mount Public Utilities.
 - Contractor shall video the existing conditions prior to beginning work to protect against unwarranted claims. Construction areas are to be left in a condition equal to or better than previous condition upon completion of work.
- ENVIRONMENTAL**
 - FLOODPLAIN:** Property is not located in a Floodplain or Flood Hazard zone per FEMA Map 3720.3779.001, dated 11/3/04.
 - No wetlands, riparian buffers or streams exist onsite and will be impacted by this project. This site is not located within a Watershed Protected Zone.
- ELECTRIC/ GAS:**
 - Contractor shall exercise extreme caution when working under, around, and/or adjacent to existing power lines. Electrical lines and power poles are owned and maintained by City of Rocky Mount Public Utilities.
 - Contractor shall contact City of Rocky Mount Public Utilities at 252/467-4808 to coordinate the installation of electric services and 252/467-4809 to coordinate the installation of natural gas services, as applicable. No gas service proposed.
 - A City representative must be present prior to and during any construction within the area of existing gas mains. Any adjustments and relocations for gas lines will be performed by the City (none proposed).
- EARTHWORK:**
 - Unless otherwise approved, all construction debris shall be disposed of **OFF-SITE** in a permitted landfill. All borrow material must come from a properly permitted E&SC site or mine.
 - Earthwork and compaction efforts to comply with City and NCDOT requirements. Refer to requirements stipulated in contract documents.
 - Contractor to coordinate closely with City Inspector at all times during construction.
- DRAINAGE**
 - Contractor to confirm sizes and location of connections with existing drainage prior to construction and ordering culvert.
 - LEWY LANE & TRIPLE COURT (ONLY):** CONTRACTOR TO REMOVE ALL EXISTING DRIVEWAY CULVERTS AND REPLACE WITH NEW 15" RCP (CLASS III) TO MATCH NEW DITCH ELEVATIONS. Ensure positive flow. Minimum culvert and ditch grade to be 0.5%.
 - FORT STREET & VANS DRIVE:** Existing driveway culverts and ditches along Fort Street and Vans Drive to NOT be disturbed unless directed by City.
 - Storm drainage piping shall be reinforced concrete pipe (RCP), Class III, conforming to ASTM C76, unless otherwise approved by the City. All joints shall be sealed. Ensure adequate cover as approved by City.
- CONCRETE:** (if required)
 - All concrete is to be minimum 3,000 psi at 28 days, unless otherwise noted on the plans. Provide expansion joint (E.J.) wherever new concrete or curbing adjust existing concrete.
 - DO NOT POUR ANY CONCRETE BEFORE FORMS ARE INSPECTED AND APPROVED BY THE CITY. Failure to do so may constitute removal of work performed at Contractor's cost until made satisfactory by the Engineer.
 - Contractor shall watch for any potential upgrade depressions adjacent to and behind proposed concrete. Should any be detected, fill to provide positive surface drainage over concrete.
 - Where directed by City, Contractor shall remove and replace existing concrete driveways. Install 4" concrete driveway in accordance with NCDOT Standard Specifications (sidewalk/broom finish).
- TRAFFIC CONTROL:**
 - The Contractor shall be responsible for all work zone traffic control. All methods, signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and NCDOT standards, and are the Contractor's responsibility.
 - All methods, signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD) and NCDOT standards, and are the Contractor's responsibility.
- Contractor shall be responsible for any costs in excess of normal construction methods due to adverse conditions, or failure to give notice, that preclude the use of the City's standard installation methods. Examples of such are, but not limited to, boring, conduit installation, pavement patching, concrete replacement and landscaping.
- GUARANTEE:** The Contractor shall guarantee the quality of his work for a period of twelve months after acceptance. Should the work fail to perform according to these plans and specifications, the Contractor shall be required to conduct corrective actions at no cost to the Owner. Such adequacy shall be left to the discretion of the Engineer.



ROCKY MOUNT
ENGINEERING
THE CENTER OF IT ALL

Dirt Street Paving Project Lewy Lane & Triple Court Edgecombe County, Rocky Mount, N.C.



PROJECT CONTACTS

NAME/ TITLE	ENTITY	PHONE	MAIL/EMAIL
Brad Kerr, PE Director of Public Works	City of Rocky Mount	252.972.1121	Brad.kerr@rockymountnc.gov
Scott Miles, PE Assistant City Engineer	City of Rocky Mount	252.972.1122	Scott.miles@rockymountnc.gov
Hugh Clark, PLS Survey Manager	City of Rocky Mount	252.467.4944	Hugh.clark@rockymountnc.gov
Allen Goff Inspector	City of Rocky Mount	252.467.4946	Allen.goff@rockymountnc.gov
Bobby L. Joyner, PE President	Applan Consulting Engineers	252.972.7703	bjoyner@applanengineers.com
David C. Revoir, PE Project Engineer	Applan Consulting Engineers	252.972.7703	drevoir@applanengineers.com

CITY STANDARD NOTES

Last Revised, 4/12/22

- All required improvements shall conform to the City of Rocky Mount's Land Development Code and Manual of Specifications and Details, latest edition.
- Omitted
- Omitted
- Omitted
- The disturbed area for this project is less than 0.5 acre. Therefore, stormwater detention and nutrient management are not required.
- The disturbed area for this project is less than 1 acre. Therefore, a formal Sedimentation and Erosion Control Plan is not required. However, the site is subject to erosion control provisions and the **CONTRACTOR IS RESPONSIBLE FOR CONTAINING ALL EROSION AND SEDIMENTATION WITHIN THE PROJECT LIMITS.**
- Omitted
- "Spot shot" topographical information shown hereon obtained from an actual field survey performed by Hugh Clark, PLS, City of Rocky Mount Survey Manager. Additional topographic and boundary information obtained from the City of Rocky Mount and Edgecombe County GIS. Horizontal Datum is NAD '83/2007 NC State Plan Coordinates. Reference Datum is NAVD 88.
- Site lies in Flood Zone X, outside of the 500-yr and 100-yr Floodplain per FEMA FIRM# 3720.3779.001, dated 11/3/04.
- Contractor/Developer shall contact City of Rocky Mount Construction Inspector Allen Goff at (252) 343-3158 one week prior to beginning construction.
- Contractor shall contact City of Rocky Mount Public Utilities at 252/467-4808 to coordinate the installation of electric services and 252/467-4827 to coordinate the installation of natural gas services.
- Omitted
- The developer/owner is responsible for all costs related to the relocation of any existing utilities. No relocation of existing utilities proposed.
- Omitted
- The property owners shall provide an executed right-of-way easement prior to the installation of proposed swale on private property.
- The contractor is responsible for calling the NC One Call Center at 811 to locate existing utilities prior to beginning work.

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D-2	CONSTRUCTION DETAILS

SCOPE OF WORK:

STREET NAME	EX. ROAD SURFACE	PRO. WORK DESCRIPTION	APPROX. LENGTH (LF)
Lewy Lane	ABC	Paving, ditch regrading	975
Triple Court	ABC	Paving, ditch regrading	240
Vans Drive	Asphalt	Resurfacing	700
Fort Street	Asphalt	Resurfacing	850

LEGEND (EXISTING SITE)

Adjacent Property Lines	Chain	Ex. Curb & Gutter	Topographic Elevation
Building Outline (bldg)	Centerline (as Noted)	Ex. Contour	Ditch
Buffer Easement	Force Main	Min. building Setback (mb)	Drainage Structures (as Noted)
Easement (as Noted)	Gas	Paint Stripe	Easement (esm't)
Edge Gravel / Soil	O.H. Power	Edge Pavement (ep)	Fence (as Noted)
Min. building Setback (mb)	Guy Wire	Right-of-way	Edge Gravel / Soil
Paint Stripe	O.H. Electric	Treelwoods Limits	Min. building Setback (mb)
Edge Pavement (ep)	U.G. Electric	Zoning Line	Paint Stripe
Right-of-way	San Sewer (As Noted)	ex. mail box	Edge Pavement (ep)
Treelwoods Limits	Telecommunications	ex. sign "L"	Right-of-way
Zoning Line	U.g. Telecommunications	ex. sign (as noted)	Treelwoods Limits
ex. mail box	Utility (as Noted)		Zoning Line
ex. sign "L"	Unknown Utility Line		ex. mail box
ex. sign (as noted)	Water Line		ex. sign "L"

LEGEND (EXISTING UTILITIES)

CATV	Cable TV	ex. sp. 12
Fence (as Noted)	Fiber Optics Line	ex. sp. 11
Force Main	Gas	ex. sp. 10
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LEGEND (CONSTRUCTION)

CENTERLINE (SEE PLANS)	FLARED END
DITCH	SIGN
EASEMENT (AS NOTED)	STOP SIGN
LIMITS OF DISTURBANCE (ALT.)	STREET NAME SIGN
PROPERTY LINE (NO SURVEY)	CH. LK. FENCE (AS NOTED)
PROPERTY LINE (SURVEYED)	CAUTION: POWER IN AREA
RIGHT-OF-WAY	CAUTION: HIGH REPAIR COST
PAVEMENT STRIPING (AS NOTED)	IMPORTANT INFORMATION
CENTERLINE (AS NOTED)	CAUTION: / IMPORTANT
CONTOUR (ELEV. AS NOTED)	DO NOT DISTURB
SPOT ELEVATION	
SLOPE	
CONCRETE	
FLARED END	
SIGN	
STOP SIGN	
STREET NAME SIGN	
CH. LK. FENCE (AS NOTED)	
CAUTION: POWER IN AREA	
CAUTION: HIGH REPAIR COST	
IMPORTANT INFORMATION	
CAUTION: / IMPORTANT	
DO NOT DISTURB	

Final Drawings
Review Purposes ONLY



REVISIONS				
NO.	DATE	DESCRIPTION	BY	CAD
1				